

OREGON STATE HISTORIC PRESERVATION OFFICE

Certified Local Government Development Grant Project Packet Cover Form

SECTION I. PROPERTY & GRANT INFORMATION

Street Address: 135 South 3rd Street
City: Saint Helens
County: Columbia
Owner: David B. Rosengard & Diana Wiener
SHPO Agreement Number: CLG-23-14 Grant Award Amount: \$17,000

SECTION II. PROJECT DESCRIPTION

Please provide a description of the proposed work identifying issues being addressed and how. Attach additional pages if necessary. Be sure to include how the work will be done and discuss any original materials that will be altered, removed, or replaced. This section is intended to provide our reviewers with a "before and after" understanding of the project; how the building looks now versus how it will look once the project is complete.

- Replace / repair degraded cedar siding with horizontal cedar siding with 6" exposure. Grant focuses on only the front porch.
- Replace / repair degraded 10" wood columns
- Replace / repair degraded porch ceiling (wood soffit).
- Replace / repair degraded fir porch floor approximately 160 square feet.
- Replace four (4) ahistorical / damaged windows wooden double-hung windows. 3 units on the front elevation and 1 unit on the south elevation.
- Replace ahistorical / damaged door with period-appropriate wood door
- Replace / repair degraded composition shingle roof. Grant focuses on only the front porch roof.

SECTION IIA. PROJECT DETAIL – SELECT ALL THAT APPLY

<input checked="" type="checkbox"/>	Roof	Date of Construction:	1914	Existing Material:	Shingle
<input checked="" type="checkbox"/>	Repair	<input checked="" type="checkbox"/>	Replace	Proposed Materials:	Shingle
<input checked="" type="checkbox"/>	Windows/Doors	Date of Construction:	Unkno wn	Existing Material:	Modern sliding window; modern wood door
<input type="checkbox"/>	Repair	<input checked="" type="checkbox"/>	Replace	Proposed Materials:	Double-hung period-specific windows; period-apropriate door
<input type="checkbox"/>	Structural or Foundation	Date of Construction:		Existing Material:	
<input type="checkbox"/>	Repair	<input type="checkbox"/>	Replace	Proposed Materials:	
<input checked="" type="checkbox"/>	Siding	Date of Construction	1914; Current Unkno wn	Existing Material:	Modern vinyl covering degraded 1914 cedar siding with 6" exposure
<input type="checkbox"/>	Repair	<input checked="" type="checkbox"/>	Replace	Proposed Materials:	Remove ahistorical vinyl; replace damaged original with historically appropriate cedar 6" exposure
<input type="checkbox"/>	Facade	Construction Date	1914; Current Unkno wn	Existing Material:	Modern vinyl covering degraded 1914 cedar
<input type="checkbox"/>	Repair	<input type="checkbox"/>	Replace	Proposed Materials:	
<input type="checkbox"/>	Other:	Construction Date		Existing Material:	
<input type="checkbox"/>	Repair	<input type="checkbox"/>	Replace	Proposed Materials:	
<input type="checkbox"/>	Ground will be disturbed.	Describe:			

SECTION III. ADDITIONAL INFORMATION & ATTACHMENTS

Please merge & attach items as one document and use the file name format "yourprojectaddress.pdf". Check the appropriate boxes below to indicate what information has been included. Only the map and photographs of property are required.

- Photographs
 - At least 2 photographs that provide an overview of the exterior of the property
 - At least 2 close-ups of the part(s) of the property where the project will happen
 - At least 2 photographs that provide a view of the property with neighboring properties.
- Map

Please include a topographic, Google, or Bing map that clearly shows the location of the property.
- Additional Information
 - Design plans
 - Product/material information sheets
 - Examples of similar completed projects
 - Other: Photo of neighboring historical building, constructed by same builder in 1914

Section IV. FOR SHPO COMPLETION

Based on the information submitted to our office, we find that the proposed project adheres to *The Secretary of the Interior's Standards for the Treatment of Historic Properties*. Pending concurrence from the National Park Service (NPS) regarding this finding, this project is fundable through a Certified Local Government Grant for development. Within 30 days of the signature below, please upload your Preservation Agreement to OPRD Grants Online. Work on your project cannot begin until a Preservation Agreement has been signed and the project has been submitted to and approved by the NPS.

Joy Sears

Type text here

11/8/2023

SHPO Reviewer Signature

Date

FIRE DAMAGE REPAIR

135 S 3RD ST., ST. HELENS, OR 97051



2850 SW CEDAR HILLS BLVD, SUITE 106
BEAVERTON, OREGON 97005-1354
CONTACT: CHRISTOPHER NESTLERODE
PHONE: 503-382-8000 EM. CHRIS@PDSLLCNW.COM

PROJECT DIRECTORY

OWNER
WIENER DIANA M & ROSENGARD DAVID B
135 S 3RD ST
ST HELENS, OR 97051

DESIGN FIRM
PROPERTY DAMAGE SOLUTIONS
2850 SW CEDAR HILLS BLVD., SUITE 106
BEAVERTON, OREGON 97005
Phone: (503) 382-8000
Contact: Chris Nestlerode
Email: chris@pdsllcnw.com

STRUCTURAL ENGINEER
HAYDEN CONSULTING ENGINEERS
12480 SW 68TH,
TIGARD, OREGON 97005
Phone: (503) 968-9994
Contact: SHELBY MCKENNA
EM: SMcKenna@hayden-engineers.com

CONTRACTOR
BLAZE RESTORATION
1720 NE 64th AVE, SUITE C
VANCOUVER, WASHINGTON 98661
PH: 360.590.8806
CCB :
CONTACT: KEN STRYKER
EM: Ken@BlazeNW.com

SCOPE OF WORK

- REPLACE DAMAGED INTERIOR FINISHES, WINDOWS AND DOORS
- REMOVE (E) BASEMENT FLOOR SLAB, PROVIDE NEW BASEMENT FLOOR SLAB AS INDICATED IN PLANS.
- REPLACE DAMAGED ROOF FRAMING, SHEATHING, AND ROOFING
- REMOVE (E) STAIR RUN TO BASEMENT AT FIRST FLOOR, ADD NEW STAIR RUN TO BASEMENT AS INDICATED IN PLANS
- ENCLOSE REAR DECK
- RECONFIGURE SECOND FLOOR, EXTEND DORMER
- LEGALIZE (E) BASEMENT FOR LIVING SPACE

PROPERTY:

ACCOUNT NUMBER: 9488
MAP AND TAXLOT: 4103-BB-02400
ADDRESS: 135 S 3RD ST
CITY: ST HELENS OR 97051
ACREAGE: 5,950 SF

DRAWING INDEX

ARCHITECTURAL	
<input checked="" type="checkbox"/>	A0 TITLE SHEET, SITE PLAN, BUILDING & SITE INFORMATION
<input checked="" type="checkbox"/>	A1 DEMOLITION FLOOR PLANS
<input checked="" type="checkbox"/>	A2 BASEMENT & FIRST FLOOR PLANS
<input checked="" type="checkbox"/>	A3 SECOND FLOOR PLAN
<input checked="" type="checkbox"/>	A4 FOUNDATION & FRAMING PLANS
<input checked="" type="checkbox"/>	A5 BUILDING SECTION, DETAILS
<input checked="" type="checkbox"/>	A6 ROOF FRAMING & ROOF PLAN
<input checked="" type="checkbox"/>	A7 BUILDING ELEVATIONS

BUILDING CODE INFORMATION

2021 ORSC AND 2022 OSSC
PER R102.7.2 REPAIRS. REPAIRS SHALL NOT MAKE THE BUILDING ANY LESS CONFORMING WITH THE PROVISIONS OF THIS CODE THAN THE BUILDING WAS BEFORE THE REPAIR WAS UNDERTAKEN.
REPAIRS FOR THE PURPOSES OF CORRECTING DAMAGE SHALL BE PERMITTED TO CONFORM WITH THE CODE EDITION IN EFFECT AT THE TIME OF ORIGINAL CONSTRUCTION, WHERE THE REQUIREMENTS OF THIS SECTION ARE MET.
WHERE IT BECOMES NECESSARY TO REPAIR ALL OR A PORTION OF A LEGALLY EXISTING BUILDING THAT HAS BEEN DAMAGED BY, INCLUDING BUT NOT LIMITED TO FIRE, WIND, FLOOD, EARTHQUAKE OR OTHER SIMILAR DAMAGE, AND WHERE PRIOR TO THE DAMAGE THE LEGALLY EXISTING BUILDING DID NOT CONTAIN UNSAFE CONDITIONS, THE BUILDING MAY BE RECONSTRUCTED EXACTLY AS IT EXISTED PRIOR TO THE DAMAGE.

ENERGY CODE COMPLIANCE

TABLE N1101.1(1) PRESCRIPTIVE BUILDING COMPONENT REQUIREMENTS	
* ADDITIONAL MEASURES (2) N1101.1(2)	
WALL INSUL - ABOVE GRADE	* R-23 INTERMEDIATE
WALL INSUL - EXISTING 2x4 WALLS	R-15
WALL INSUL - BELOW GRADE	R-15
FLAT CLG INSUL	R-49
VAULTED CLG INSUL	R-30 RAFTER
UNDER FLOOR INSUL	* R-38
SLAB EDGE PERIMETER INSUL	R-15
WINDOW CLASS	* U=0.28
SKYLIGHT CLASS	U=0.50
EXTERIOR DOORS	U=0.20
EXTERIOR DOORS w/ > 2.5 SF. GLAZE	U=0.40
FORCED AIR DUCT INSUL	R-8
TABLE N1101.1(2) ADDITIONAL MEASURES	
1. HIGH EFFICIENCY HVAC SYSTEM	
a. GAS-FIRED FURNACE OR BOILER AFUE 94%	
2. HIGH EFFICIENCY WATER HEATING SYSTEM	
a. NATURAL GAS/PROPANE WATER HEATER WITH MINIMUM UEF 0.90	

GENERAL NOTES

- OMISSIONS OR CONFLICTS BETWEEN ELEMENTS OF THE DRAWINGS, NOTES, AND/OR DETAILS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER AND RESOLVED BEFORE PROCEEDING WITH THE WORK. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE JOB SITE TO FAMILIARIZE HER/HIM SELF WITH ALL THE EXISTING CONDITIONS THAT COULD AFFECT THE INSTALLATION OF ANY WORK SET FORTH IN THESE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ANY OR ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. ANY UTILITIES FOUND TO BE IN THE WAY OF THE NEW CONSTRUCTION SHALL BE REMOVED, RELOCATED OR REPLACED AS DIRECTED REFER TO PLUMBING, ELECTRICAL, MECHANICAL AND/OR CIVIL PLANS FOR SPECIFIC REQUIREMENTS.
- REFERENCE ALL SHEETS FOR SCOPE OF WORK & COORDINATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND OR CONCEALED UTILITIES IN ADVANCE OF ANY CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO HIRE A PRIVATE UTILITY LOCATING SERVICE TO LOCATE ALL UNDERGROUND UTILITIES ON OR NEAR THE PROJECT SITE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL ABANDONED (RETIRED) UTILITIES THAT INTERFERE WITH THE CONSTRUCTION PROJECT. THE CONTRACTORS AND LOCAL UTILITY AND TRAFFIC CREWS SHALL COORDINATE WORK SCHEDULES SO AS TO PREVENT ANY CONFLICTING WORK CONDITIONS.
- ALL ITEMS REMOVED SHALL BE TEMPORARILY STORED IN A LOCATION APPROVED BY THE OWNER, AND THE OWNER SHALL REVIEW ALL ITEMS PRIOR TO ANY DISPOSAL. ANY ITEM WHICH IS DEEMED SALVAGEABLE SHALL REMAIN THE OWNER'S PROPERTY, AND WILL BE REMOVED TO STORAGE FACILITIES DESIGNATED BY THE OWNER FOR FUTURE USE. IF THE OWNER DEEMS AN ITEM AS NON-SALVAGEABLE, THE CONTRACTOR SHALL DISPOSE OF IT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY DEBRIS RESULTING FROM THE DEMOLITION AND CONSTRUCTION. AT NO TIME SHALL ANY OF THIS MATERIAL OBSTRUCT THE NORMAL OPERATION OF THE FACILITY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY OR ALL EXCESS EXCAVATION AND CONSTRUCTION RELATED DEBRIS, AT THE END OF EACH WORK DAY.
- THE CONTRACTOR IS ADVISED THAT DAMAGE TO ANY PORTION OF THIS PROJECT'S BUILDING(S) & SURROUNDING AREA AS A RESULT OF THIS PROJECT IS TO BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THE JOB SITE, AT THE COMPLETION OF CONSTRUCTION, SHALL BE CLEANED OF ANY DEBRIS OR SOILS RESULTING FROM THE CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY ALL EXISTING RECORDED DIMENSIONS INDICATED AND ALL EXISTING CONDITIONS THAT IMPACT NEW CONSTRUCTION.
- USE WRITTEN DIMENSIONS ONLY. WHERE NO DIMENSION IS PROVIDED, CONSULT THE DESIGNER FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL ESTABLISH ALL QUANTITIES BASED ON ACTUAL CONDITIONS. THESE DRAWINGS ARE NOT TO BE SCALED.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES, RULES AND REGULATIONS. REFER TO BUILDING CODE FOR ADDITIONAL CODE REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY THE DESIGN TEAM AT LEAST 72 HOURS IN ADVANCE OF ANY CONSTRUCTION THAT REQUIRES SPECIAL/REQUIRED INSPECTIONS(S).
- ALL MATERIALS REQUIRED SHALL BE OF A GRADE AND QUALITY CONSISTENT WITH THE INTENDED USE AS SPECIFIED.
- ALL EQUIPMENT OR MATERIALS NOT SHOWN OR SPECIFIED ON THE PLANS OR IN THE SPECIFICATIONS, SHALL BE REQUIRED TO COMPLETE THE INSTALLATION SHALL BE SUPPLIED BY THE CONTRACTOR AS PART OF THE CONTRACT WORK.
- ALL PENETRATIONS THROUGH FIRE RESISTIVE FLOORS OR WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO THE UNDERWRITER LABORATORIES LISTING FOR THROUGH PENETRATION FIRE STOP SYSTEMS. THE CONTRACTOR SHALL SUBMIT MANUFACTURERS SHOP DRAWINGS AND DATA SHEETS FOR ALL PENETRATIONS.
- ALL RATED DOOR/WINDOW FRAME ASSEMBLIES SHALL BE LISTED AND LABELED BY APPROVING AGENCY AND HAVE APPROPRIATE HARDWARE PER CODE REQUIREMENTS.
- ALL BLOCKING OR BACKING MATERIAL SHALL BE SOLID WOOD FOR ALL WALL MOUNTED ITEMS.
- INSTALL A CONTINUOUS BEAD OF SEALANT AT ALL GAPS/ SEAMS BETWEEN IMMOVABLE EQUIPMENT AND WALLS.
- ALL SURFACES SHALL BE PAINTED OR FINISHED PER SPECIFICATION. REFER TO FLOOR PLANS, ROOM FINISH SCHEDULE, BUILDING/WALL SECTIONS, DETAILS AND SPECIFICATIONS FOR ADDITIONAL PAINTING & FINISH REQUIREMENTS.
- ALL INTERIOR FINISHES SHALL CONFORM TO CODE REQUIREMENTS.
- PROVIDE AN ESCUTCHEON AT EACH PIPE PENETRATION @ FLOOR AND/OR WALL SURFACES, TYPICAL.
- ALL CORES INTO WALLS AND SLABS SHALL BE PRIOR APPROVED BY THE DESIGN TEAM.
- INSTALL GYPSUM BOARD CONTROL JOINTS AT ALL LOCATIONS INDICATED OR IF NOT INDICATED AS ACCORDING TO THE REQUIREMENTS THAT ARE ESTABLISHED IN THE SPECIFICATIONS.
- ALL WINDOWS SHALL BE INSULATED GLASS, THERMALLY BROKEN.
- ALL GYPSUM WALL BOARD SHALL BE AS IDENTIFIED. MAINTAIN FULL UNOBSTRUCTED ACCESS TO ALL BUILDING EXITS THROUGHOUT CONSTRUCTION.

SITE INFORMATION

TOTAL SITE AREA: 5,950 SF

BUILDING INFORMATION

	EXISTING	PROPOSED
BASEMENT PLAN :	940 SF (UNFINISHED)	667 SF (FINISHED) 273 SF (UNFINISHED)
FIRST FLOOR PLAN:	904 SF	904 SF
SECOND FLOOR PLAN :	690 SF	778 SF
GARAGE :	384 SF	384 SF
FRONT PORCH	195 SF	195 SF
REAR PORCH	102 SF	102 SF



1 SITE PLAN
A0 SCALE: N.T.S.

ARCHITECTURAL SYMBOLS

DRAWING REFERENCE TITLE
DRAWING NUMBER # NAME1
SHEET NUMBER SHT#
SCALE OF DRAWING 1/4" = 1'-0"

DETAIL TARGETS
DRAWING NUMBER SHT#
SHEET NUMBER SHT#
AREA TO BE DETAILED SHT#
CUTLINE SHT#

WALL SECTION TARGET
DRAWING NUMBER SHT#
DIRECTION VIEWED AT CUTLINE SHT#
SHEET NUMBER SHT#

TARGET ELEVATION
ELEVATION REFERENCE MATERIAL DESIGNATION (TOP OF CURB) ELEVATION LOCATION

LEADERS

DIMENSIONS 1/4"

WALL TYPE TARGET

DOOR TAG

KEYNOTE TAG

PROPERTY LINE

CENTER LINE

ELEMENTS ABOVE

ELEMENTS BELOW

DEMO WORK

NORTH ARROW

GRAPHIC SCALE

ROOM NAME TAG
ROOM-NAME
ROOM-NAME
0 SQ FT

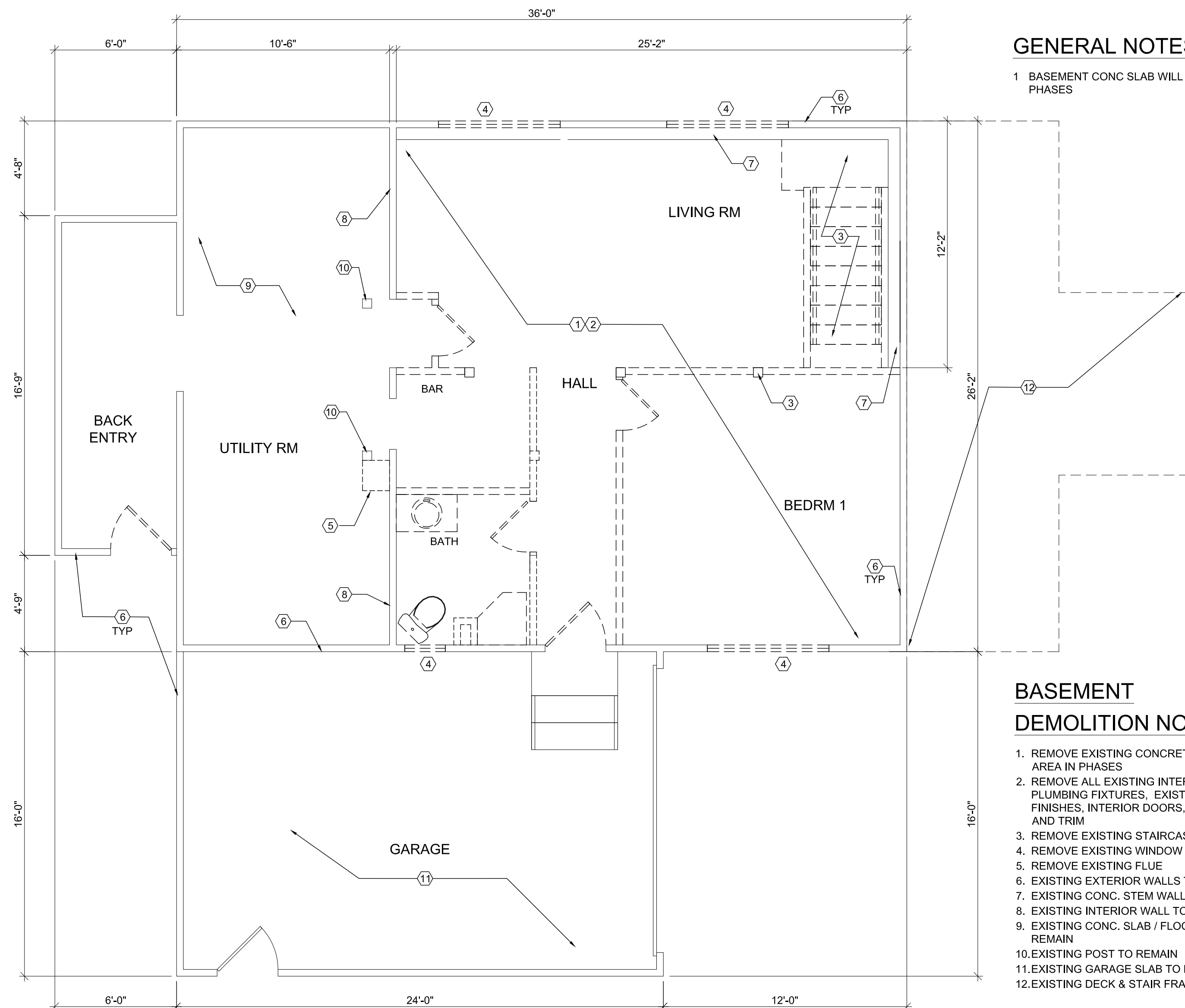
PERMIT SET - 03-15-2023
ELEVATION UPDATE 10-11-23

FIRE DAMAGE REPAIR
135 S 3RD ST, ST. HELENS, OR 97051

TITTLE SHEET, SITE PLAN
BUILDING & SITE INFO.

JOB #2208112

A0

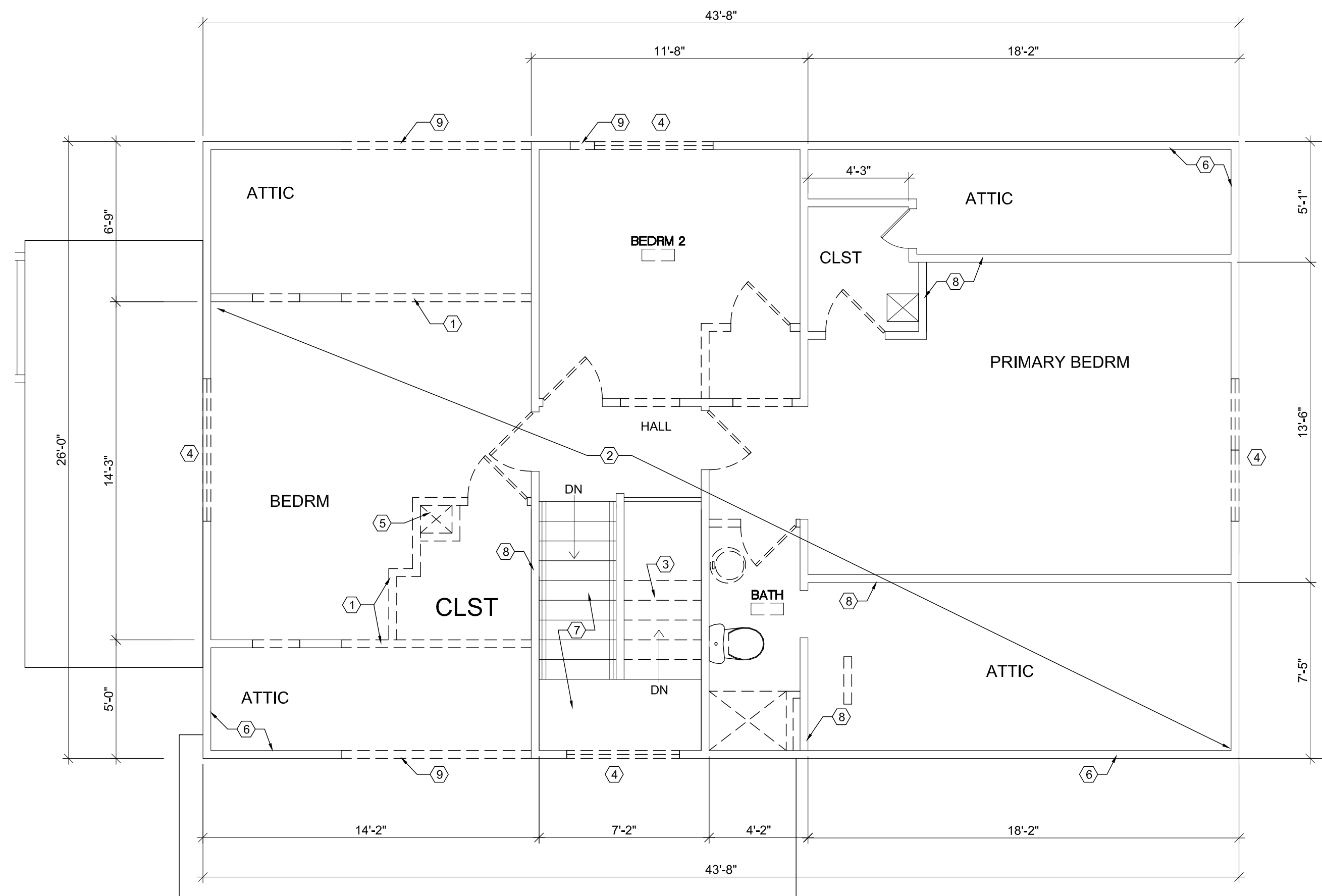


GENERAL NOTES:

1. BASEMENT CONC SLAB WILL BE REMOVED IN PHASES

BASEMENT DEMOLITION NOTES:

1. REMOVE EXISTING CONCRETE SLAB IN THIS AREA IN PHASES
2. REMOVE ALL EXISTING INTERIOR WALLS, PLUMBING FIXTURES, EXISTING INTERIOR FINISHES, INTERIOR DOORS, INSULATION, AND TRIM
3. REMOVE EXISTING STAIRCASE AND LANDING
4. REMOVE EXISTING WINDOW
5. REMOVE EXISTING FLUE
6. EXISTING EXTERIOR WALLS TO REMAIN
7. EXISTING CONC. STEM WALL TO REMAIN
8. EXISTING INTERIOR WALL TO REMAIN
9. EXISTING CONC. SLAB / FLOOR FRAMING TO REMAIN
10. EXISTING POST TO REMAIN
11. EXISTING GARAGE SLAB TO REMAIN
12. EXISTING DECK & STAIR FRAMING TO REMAIN



SECOND FLOOR

DEMOLITION NOTES:

1. REMOVE EXISTING INTERIOR WALL
2. REMOVE ALL EXISTING PLUMBING FIXTURES, EXISTING INTERIOR FINISHES, INTERIOR DOORS, INSULATION, AND TRIM
3. REMOVE EXISTING STAIR RUN
4. REMOVE EXISTING WINDOW
5. REMOVE EXISTING FLUE
6. EXISTING EXTERIOR WALLS TO REMAIN
7. EXISTING STAIR RUN AND LANDING TO REMAIN
8. EXISTING INTERIOR WALL TO REMAIN
9. REMOVE EXISTING EXTERIOR WALL

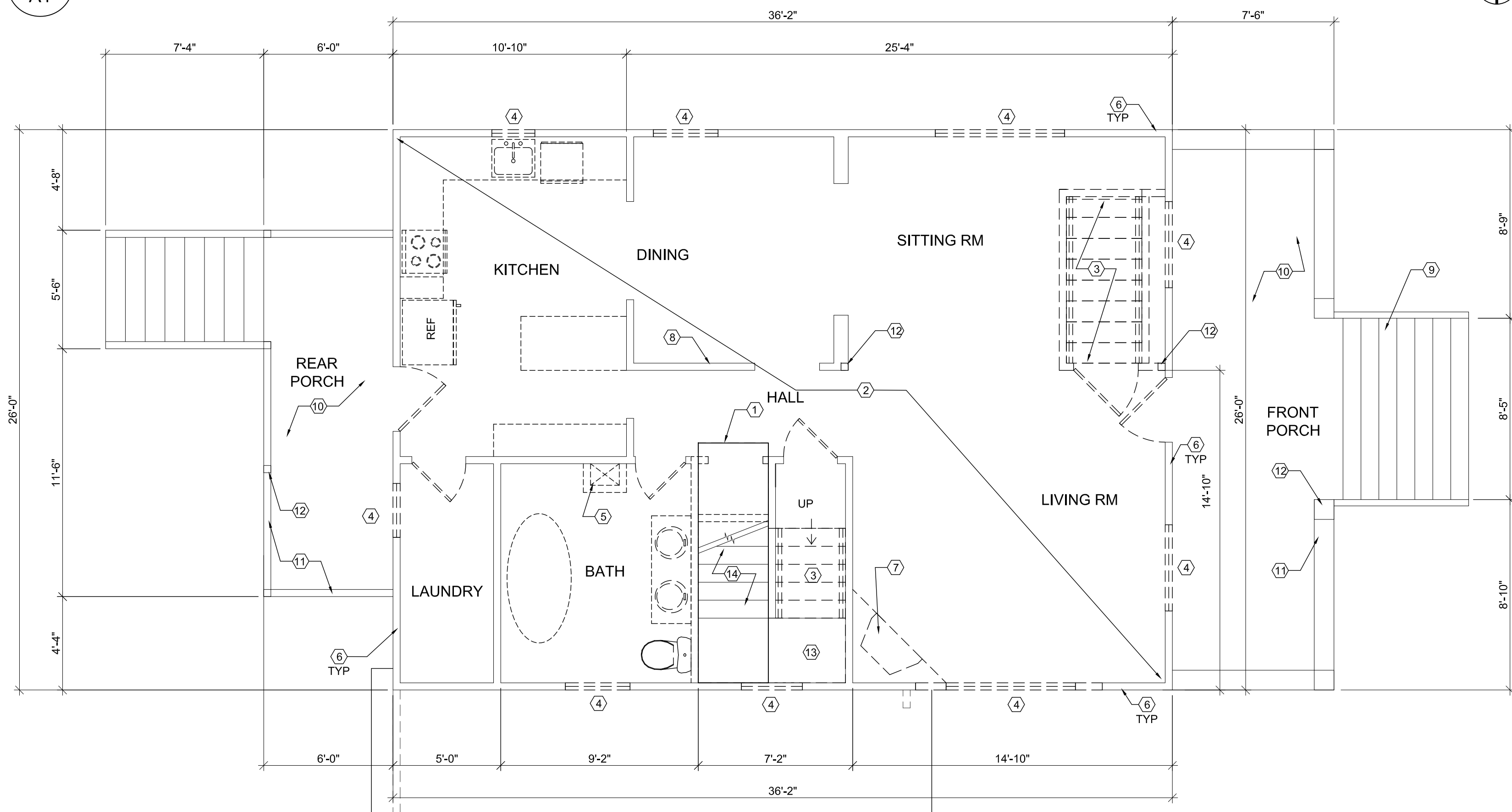
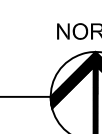
1 BASEMENT PLAN - DEMOLITION

SCALE: 1/4"=1'-0"



3 SECOND FLOOR PLAN - DEMO

SCALE: 1/4"=1'-0"



2 FIRST FLOOR PLAN - DEMOLITION

SCALE: 1/4"=1'-0"



WALL KEY:

- - - EXISTING WALLS
- - - REMOVED WALLS

FIRST FLOOR

DEMOLITION NOTES:

1. REMOVE EXISTING FLOOR FRAMING FOR NEW STAIR TO BASEMENT LEVEL, REFER TO FLOOR FRAMING PLAN ON SHIT. A4
2. REMOVE ALL EXISTING PLUMBING FIXTURES, EXISTING INTERIOR FINISHES, INTERIOR DOORS, INSULATION, AND TRIM
3. REMOVE EXISTING STAIRCASE
4. REMOVE EXISTING WINDOW
5. REMOVE EXISTING FLUE
6. EXISTING EXTERIOR WALLS TO REMAIN
7. REMOVE EXISTING FIRE PLACE
8. EXISTING INTERIOR WALL TO REMAIN
9. EXISTING EXTERIOR STAIR / GUARDRAIL TO REMAIN
10. EXISTING DECK TO REMAIN
11. EXISTING GUARDRAIL TO REMAIN
12. REMOVE EXISTING POST
13. EXISTING LANDING TO REMAIN
14. EXISTING STAIR RUN TO REMAIN

FIRE DAMAGE REPAIR

135 S 3RD ST ,ST. HELENS , OR 97051

DEMOLITION FLOOR PLANS

JOB #2208112

A1

WALL KEY:

- - - - - EXISTING WALLS
- - - - - REMOVED WALLS
- - - - - REPAIRED WALLS
- - - - - PROVIDE (N) SIDING ON EXT.
- - - - - NEW EXTERIOR WALLS
- - - - - DF#2 2X6's @ 16" O.C.
- - - - - NEW INTERIOR WALLS
- - - - - DF#2 2X4's @ 16" O.C.
- - - - - NEW PLYWOOD FLOOR SHEATHING OVER FRAMING PER PLANS

LEGEND:

- ⊕ INDICATES 110V INTERCONNECTED COMBO SMOKE / CARBON MONOXIDE DETECTOR, LISTED IN ACCORDANCE W/ UL 2034 & UL 217, WITH BATTERY BACK-UP (ALARMS SHALL COMPLY W/ ORSC SECTION R315)
- Ⓢ INDICATES 110V INTERCONNECTED SMOKE DETECTOR, LISTED IN ACCORDANCE W/ UL 217, WITH BATTERY BACK-UP (REQUIRED FOR ALL SLEEPING SPACES AND SHALL COMPLY W/ ORSC SECTION R314)
- F INDICATES DUCTED FAN UNIT
- EG INDICATES WINDOW EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL MEET THE FOLLOWING PER ORSC SECTION R310:
 - HAVE A MIN. NET CLEAR OPENING OF 5.7 SQ.FT. OPENINGS AT GRADE FLOOR MAY HAVE A NET CLEAR OPENING OF 5 SQ.FT.
 - MAX. HEIGHT OF SILL SHALL BE 44 INCHES.
 - MIN. NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.
 - MIN. NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.
- WINDOW WELLS - MIN. HORIZONTAL AREA OF THE WELL SHALL BE 9 SQ.FT., WITH A MIN. HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES, WHERE LOCATED UNDER DECKS, PORCHES AND SIMILAR PROJECTIONS A PATH NOT LESS THAN 36 INCHES IN HEIGHT SHALL BE PROVIDED.
- SG SAFETY GLAZING REQUIRED IN HAZARDOUS LOCATIONS PER ORSC SECTION R308.4.

BASEMENT PLAN NOTES:

1. NEW WINDOW IN EXISTING OPENING
2. NEW CONC. SLAB PER 2/A4
3. NEW STAIR ASSEMBLY
4. NEW LANDING (ALIGN WITH EXISTING GARAGE SLAB)
5. NEW INTERIOR FINISHES, INTERIOR DOORS, INSULATION, AND TRIM TO MATCH EXISTING MATERIALS U.N.O.
6. CONC. INFILL AS REQUIRED TO LEVEL WITH GARAGE SLAB
7. PROVIDE MIN. 100 SQ. INCH OPENINGS IN DOOR TO PROVIDE MAKE UP AIR FOR CLOTHES DRYER
8. INFILL EXISTING WINDOW OPENING
9. PROVIDE FLAME AND SMOKE RATED VAPOR BARRIER BEHIND FIREPLACES AND TUBS AT EXTERIOR WALLS.
10. SOLID CORE, SELF CLOSING DOOR
11. OBSCURE GLAZING
12. DUCTED BATH FAN UNIT TO MEET CODE VENTILATION REQ'S IN:
 - ROOMS w/ BATHING FACILITIES: MIN. 80 CFM INTERMITTENT OR 20 CFM CO NTINUOUS
 - TOILET ROOMS w/OUT BATHING FACILITIES - 50 CFM INTERMITTENT MIN.
- NOTE: VENT THROUGH ROOF SEPARATE FROM REQUIRED ROOF VENTING
13. NEW POST PER STRUCTURAL
14. RAISED FLOOR, REFER TO 2/A4 FOR FLOOR FRAMING INFORMATION.
15. NEW TRIMMERS PER STRUCTURAL

BSMNT WINDOW SCHEDULE		
SYM.	SIZE	REMARKS
A1	6'-0"x3'-0"	SLIDER

BSMNT DOOR SCHEDULE		
SYM.	SIZE	REMARKS
1A	3'-0"x6'-8"	INTERIOR DOOR
2A	PR 4'-6"x6'-8"	INTERIOR DOOR
3A	2'-6"x6'-8"	INTERIOR DOOR
4A	PR 6'-0"x6'-8"	INTERIOR BI-PASS DOOR
5A	2'-0"x6'-8"	INTERIOR DOOR
6A	3'-0"x6'-8"	EXTERIOR ENTRY
7A	(E)	GARAGE ENTRY
8A	(E)	OVERHEAD GARAGE DOOR

BASEMENT SQ FT :

	EXISTING	PROPOSED
BASEMENT PLAN :	940 SF (UNFINISHED)	667 SF (FINISHED) 273 SF (UNFINISHED)

FIRST FLOOR PLAN NOTES:

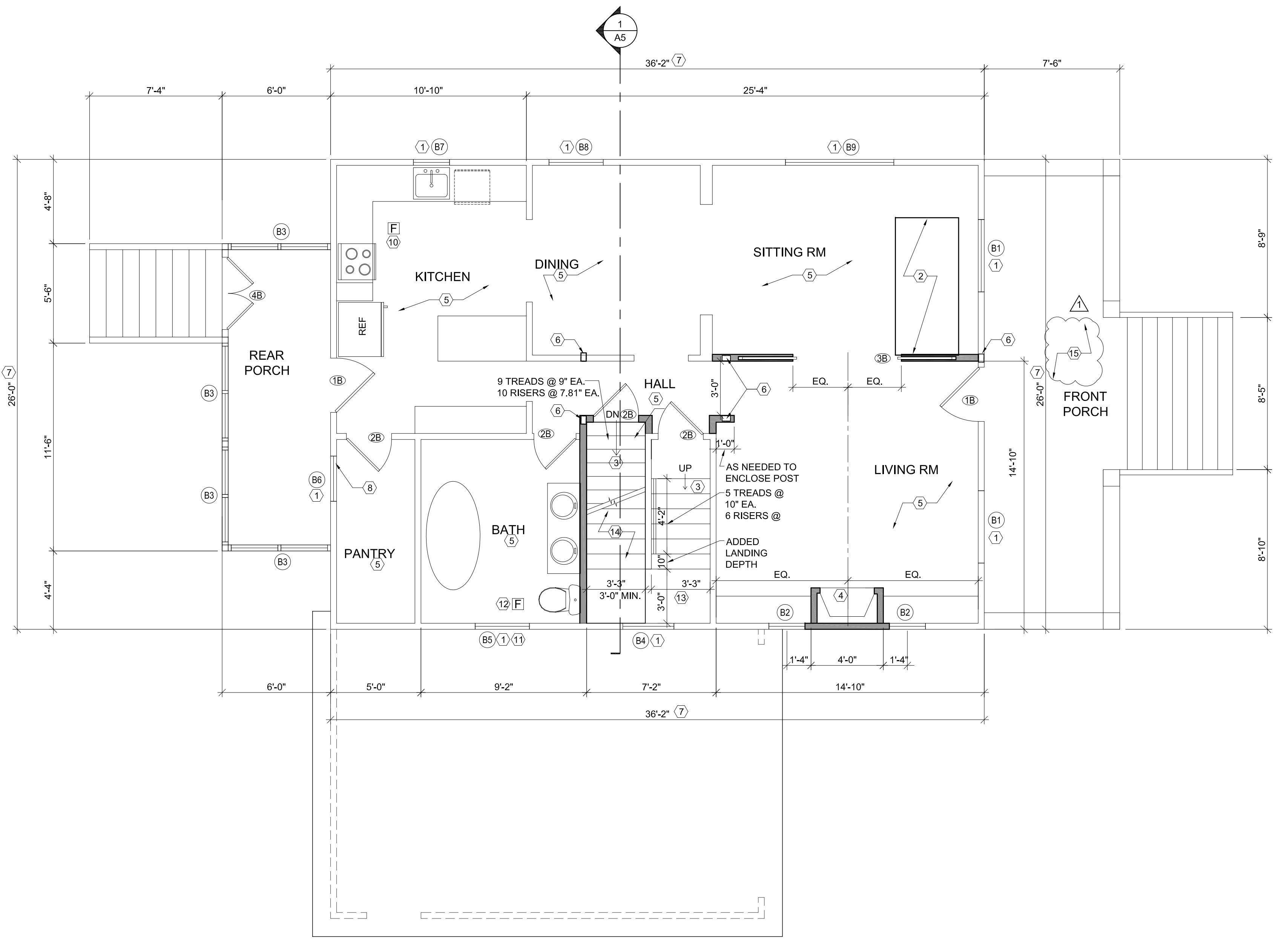
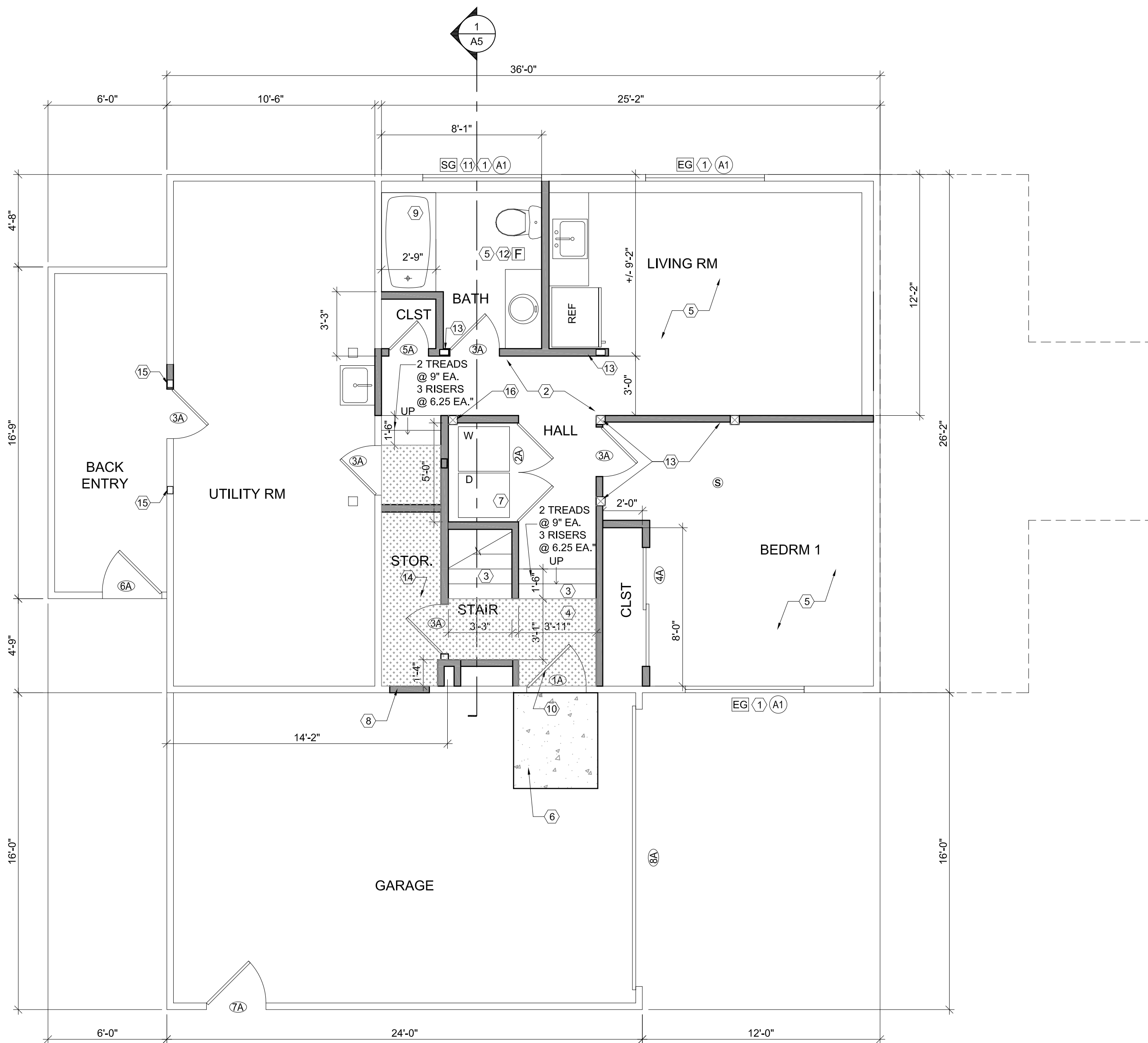
1. NEW WINDOW IN EXISTING OPENING
2. NEW FLOOR FRAMING AND SHEATHING PER STRUCTURAL ON 1/A4
3. NEW STAIR ASSEMBLY, REFER TO 1/A4 FOR ADDITIONAL INFORMATION
4. INSTALL GAS DIRECT VENT (ZERO CLEARANCE), U.L. LISTED METAL FIREPLACE ACCORDING TO MANUFACTURER'S SPECIFICATIONS. PROVIDE OUTSIDE COMBUSTION AIR KIT. SURROUND FIREBOX OPENING WITH 12" WIDE TILE. INSTALL FLUSH TILE HEARTH (MINIMUM 3/8" THICK) TO 12" IN FRONT OF OPENING. EXTEND HEARTH AS SHOWN (12" MINIMUM) BEYOND EACH SIDE OF FIREPLACE OPENING.
5. NEW INTERIOR FINISHES, INTERIOR DOORS, INSULATION, AND TRIM TO MATCH EXISTING MATERIALS U.N.O.
6. NEW POST, REFER TO X/AX
7. REPLACE EXISTING SIDING, SEE ELEVATION DRAWINGS
8. INFILL DOG DOOR OPENING BELOW
9. PROVIDE FLAME AND SMOKE RATED VAPOR BARRIER BEHIND FIREPLACES AND TUBS AT EXTERIOR WALLS.
10. DUCTED RANGE HOOD MIN. 150 CFM INTERMITTENT
11. OBSCURE GLAZING
12. DUCTED BATH FAN UNIT TO MEET CODE VENTILATION REQ'S IN:
 - ROOMS w/ BATHING FACILITIES: MIN. 80 CFM INTERMITTENT OR 20 CFM CO NTINUOUS
 - TOILET ROOMS w/OUT BATHING FACILITIES - 50 CFM INTERMITTENT MIN.
- NOTE: VENT THROUGH ROOF SEPARATE FROM REQUIRED ROOF VENTING
13. EXISTING LANDING
14. EXISTING STAIR RUN
15. WOOD CEILING

FIRST FLR WINDOW SCHEDULE		
SYM.	SIZE	REMARKS
B1	4'-0"x4'-6"	
B2	2'-0"x3'-6"	SINGLE HUNG, VERIFY HT FOR CONFLICT W/ GARAGE ROOF
B3	(2) 2'-6"x4'-0"	FIXED
B4	3'-0"x2'-0"	FIXED
B5	3'-0"x2'-6"	SLIDER
B6	2'-6"x2'-5"	SLIDER
B7	2'-0"x3'-0"	CASE
B8	2'-8"x4'-5"	SINGLE HUNG
B9	6'-0"x5'-0"	SLIDER

FIRST FLR DOOR SCHEDULE		
SYM.	SIZE	REMARKS
1B	3'-0"x6'-8"	EXTERIOR DOOR
2B	2'-6"x6'-8"	INTERIOR DOOR
3B	PR 6'-0"x6'-8"	INTERIOR POCKET DOOR
4B	PR 2'-0"x6'-8"	EXTERIOR DOOR

FIRST FLOOR SQ FT :

	EXISTING	PROPOSED
FIRST FLOOR PLAN:	904 SF	904 SF
GARAGE :	384 SF	384 SF
FRONT PORCH :	195 SF	195 SF
REAR PORCH :	102 SF	102 SF



1 BASEMENT PLAN
SCALE: 1/8"=1'-0"

2 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



PERMIT SET - 03-15-2023
ELEVATION UPDATE 10-11-23

FIRE DAMAGE REPAIR
135 S 3RD ST, ST. HELENS, OR 97051

**FIRST FLOOR PLAN
BASEMENT PLAN**

JOB #2208112
A2

WALL KEY:

- - - - - EXISTING WALLS
- - - - - REMOVED WALLS
- ===== REPAIRED WALLS
- ===== PROVIDE (N) SIDING ON EXT.
- ===== NEW EXTERIOR WALLS
- DF#2 2X6's @ 16" O.C.
- ===== NEW INTERIOR WALLS
- DF#2 2X4's @ 16" O.C.
- ===== NEW PLYWOOD FLOOR SHEATHING OVER FRAMING PER PLANS
- ===== NEW SOFFIT @ 8'-0"

LEGEND:

- ⊕ INDICATES 110V INTERCONNECTED COMBO SMOKE / CARBON MONOXIDE DETECTOR, LISTED IN ACCORDANCE W/ UL 2034 & UL 217, WITH BATTERY BACK-UP (ALARMS SHALL COMPLY W/ ORSC SECTION R315)
- Ⓢ INDICATES 110V INTERCONNECTED SMOKE DETECTOR, LISTED IN ACCORDANCE W/ UL 217, WITH BATTERY BACK-UP (REQUIRED FOR ALL SLEEPING SPACES AND SHALL COMPLY W/ ORSC SECTION R314)
- F INDICATES DUCTED FAN UNIT
- EG INDICATES WINDOW EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL MEET THE FOLLOWING PER ORSC SECTION R310:
 - HAVE A MIN. NET CLEAR OPENING OF 5.7 SQ.FT. OPENINGS AT GRADE FLOOR MAY HAVE A NET CLEAR OPENING OF 5 SQ.FT.
 - MAX. HEIGHT OF SILL SHALL BE 44 INCHES.
 - MIN. NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES.
 - MIN. NET CLEAR OPENING WIDTH SHALL BE 20 INCHES.
 - WINDOW WELLS - MIN. HORIZONTAL AREA OF THE WELL SHALL BE 9 SQ.FT., WITH A MIN. HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES. WHERE LOCATED UNDER DECKS, PORCHES AND SIMILAR PROJECTIONS A PATH NOT LESS THAN 36 INCHES IN HEIGHT SHALL BE PROVIDED.
- SG SAFETY GLAZING REQUIRED IN HAZARDOUS LOCATIONS PER ORSC SECTION R308.4.

SECOND FLOOR PLAN NOTES:

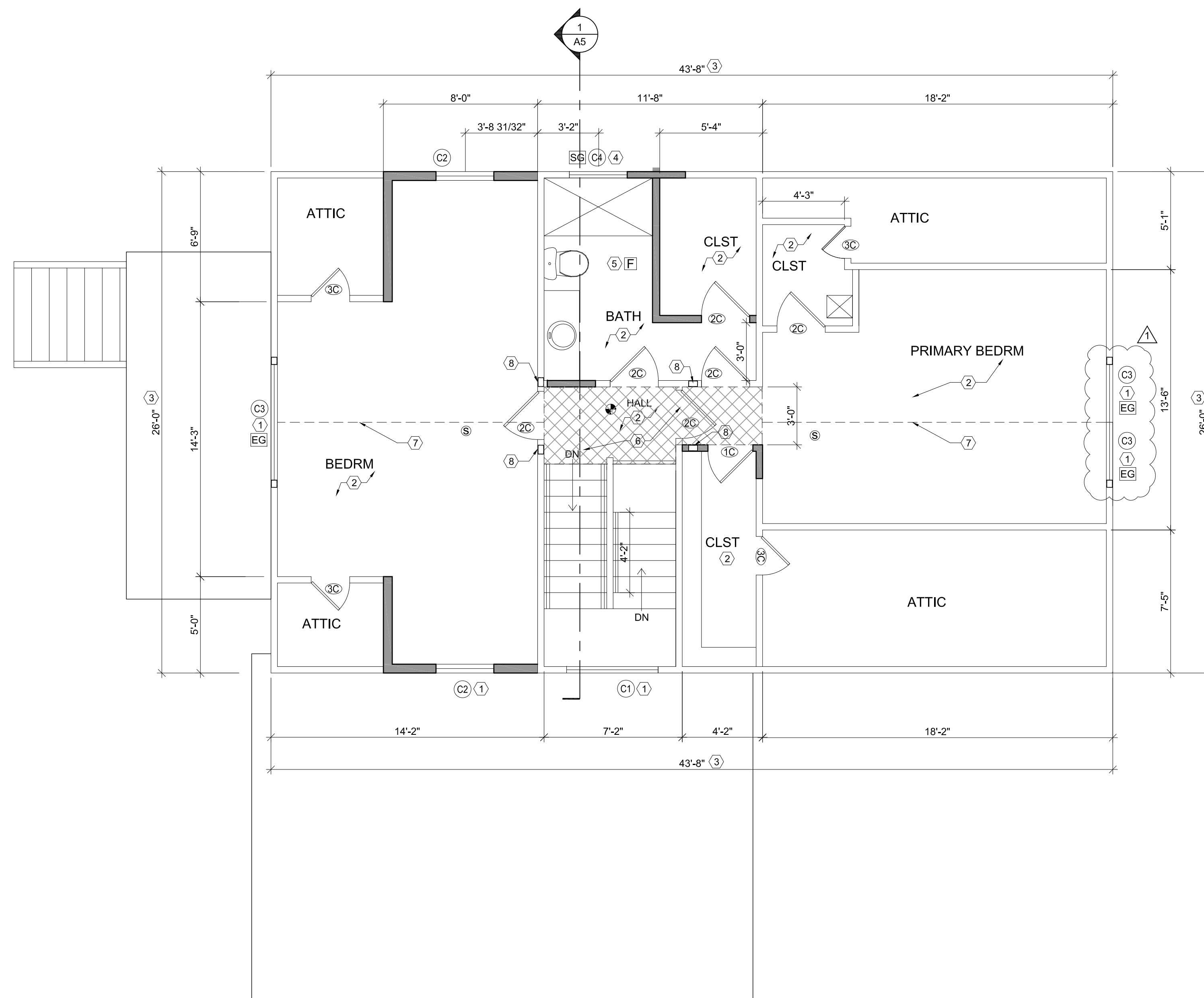
1. NEW WINDOW IN EXISTING OPENING
 2. NEW INTERIOR FINISHES, INTERIOR DOORS, INSULATION, AND TRIM TO MATCH EXISTING MATERIALS U.N.O.
 3. REPLACE EXISTING SIDING WITH NEW SIDING TO MATCH EXISTING
 4. OBSCURE GLAZING
 5. DUCTED BATH FAN UNIT TO MEET CODE VENTILATION REQ'S IN:
 - ROOMS w/ BATHING FACILITIES: MIN. 80 CFM INTERMITTENT OR 20 CFM CONTINUOUS
 - TOILET ROOMS w/OUT BATHING FACILITIES - 50 CFM INTERMITTENT MIN.
- NOTE: VENT THROUGH ROOF SEPARATE FROM REQUIRED ROOF VENTING
6. SOFFIT ABOVE @ +8'-0"
 7. LINE OF VAULT
 8. NEW POST, REFER TO ROOF FRAMING PLAN ON SHT A6

WINDOW SCHEDULE		
SYM.	SIZE	REMARKS
C1	5'-0"x4'-0"	FIXED
C2	3'-0"x4'-0"	SINGLE HUNG
C3	3'-0"x5'-0"	DOUBLE HUNG
C4	3'-0"x3'-6"	FIXED

DOOR SCHEDULE		
SYM.	SIZE	REMARKS
1C	2'-4"x6'-8"	INTERIOR DOOR
2C	2'-6"x6'-8"	INTERIOR DOOR
3C	2'-0"x3'-0"	ATTIC ACCESS

SECOND FLOOR SQ FT :

	EXISTING	PROPOSED
SECOND FLOOR PLAN :	690 SF	778 SF



2850 SW CEDAR HILLS BLVD, SUITE 106
BEAVERTON, OREGON 97005-1354
CONTACT: CHRISTOPHER NESTLERODE
PHONE: 503-382-8000 EM. CHRIS@PDSLLCNW.COM

PERMIT SET - 03-15-2023
ELEVATION UPDATE 10-11-23

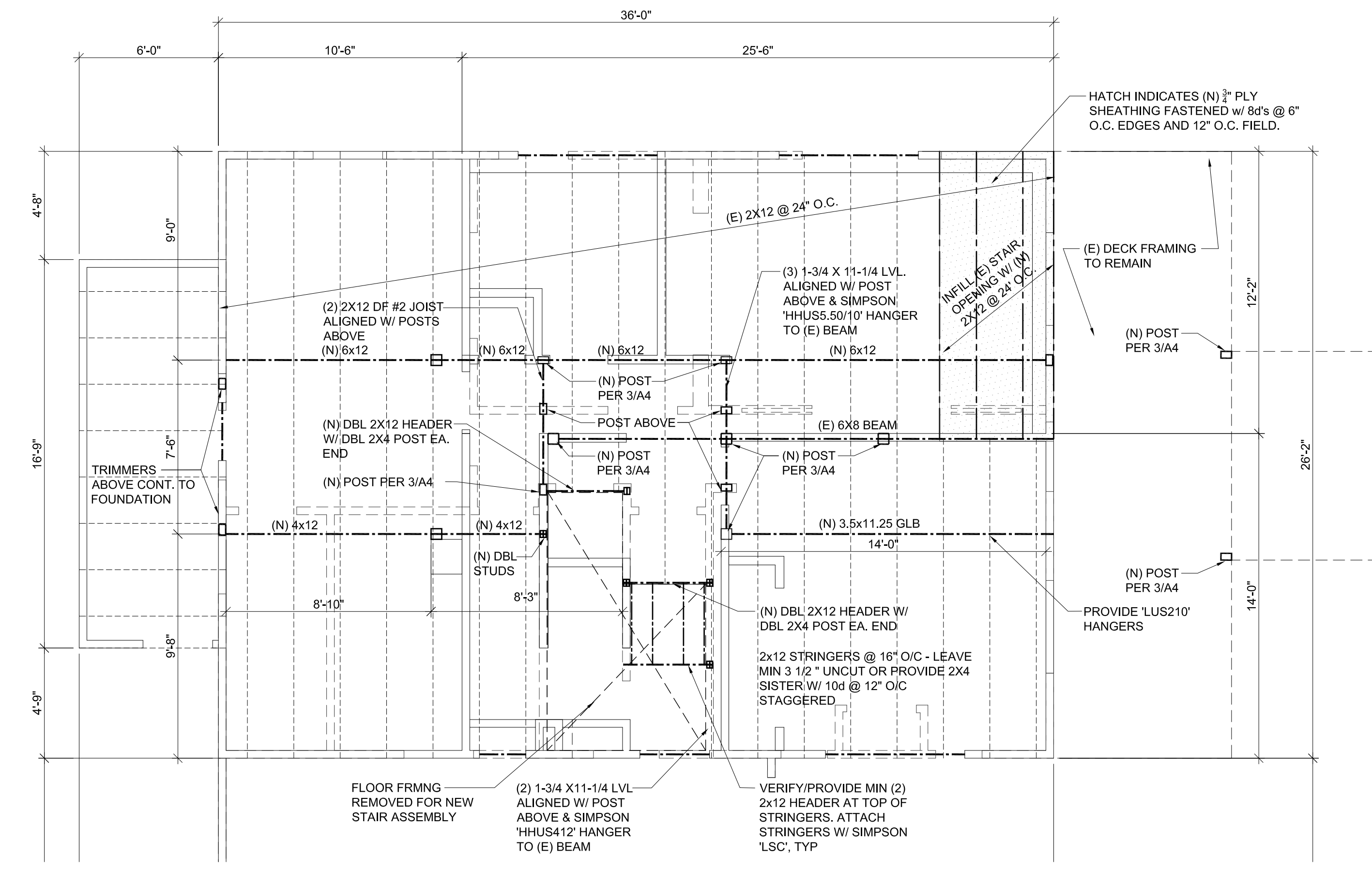
FIRE DAMAGE REPAIR
135 S 3RD ST , ST. HELENS , OR 97051

SECOND FLOOR PLAN

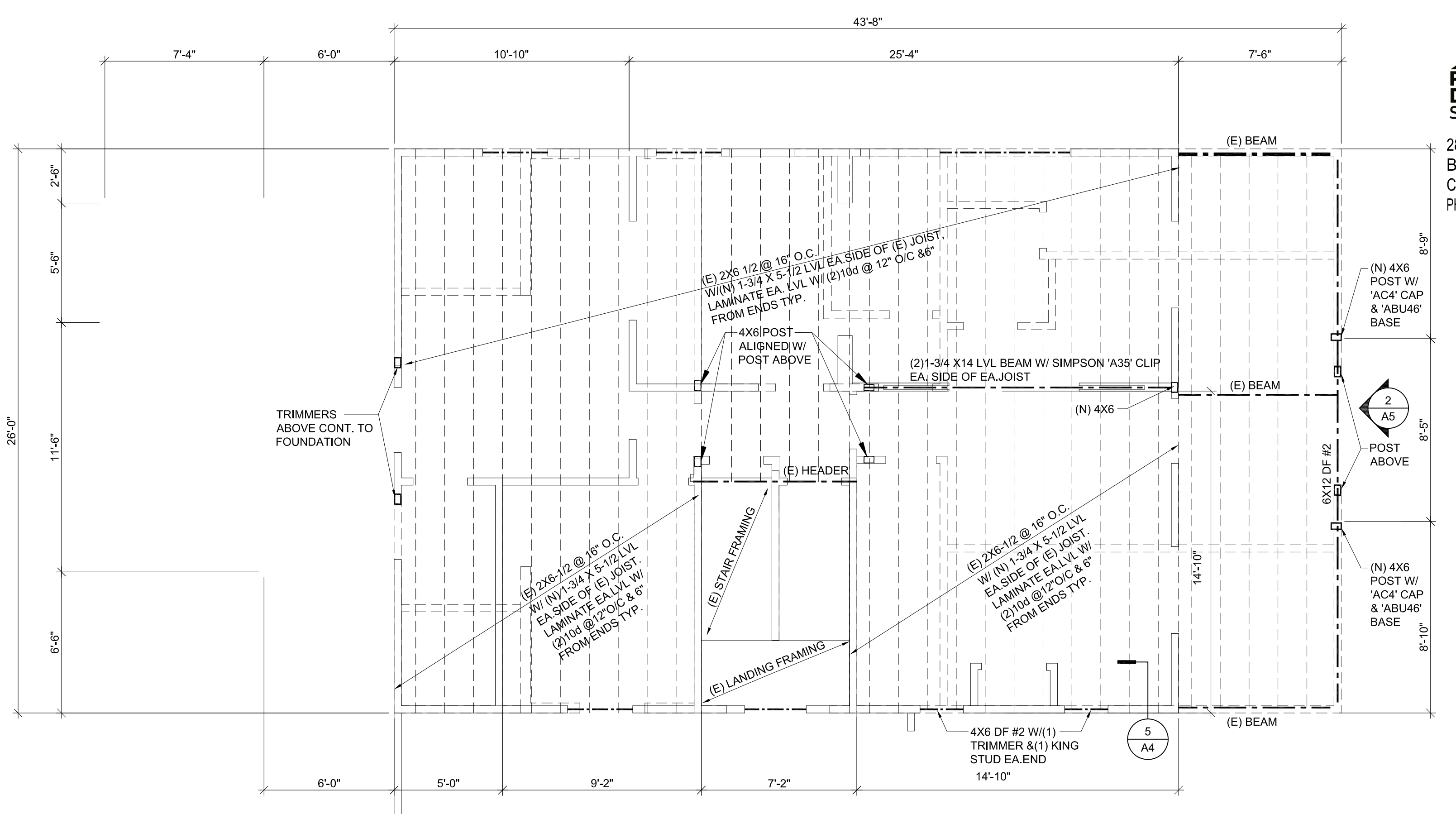
JOB #2208112

A3

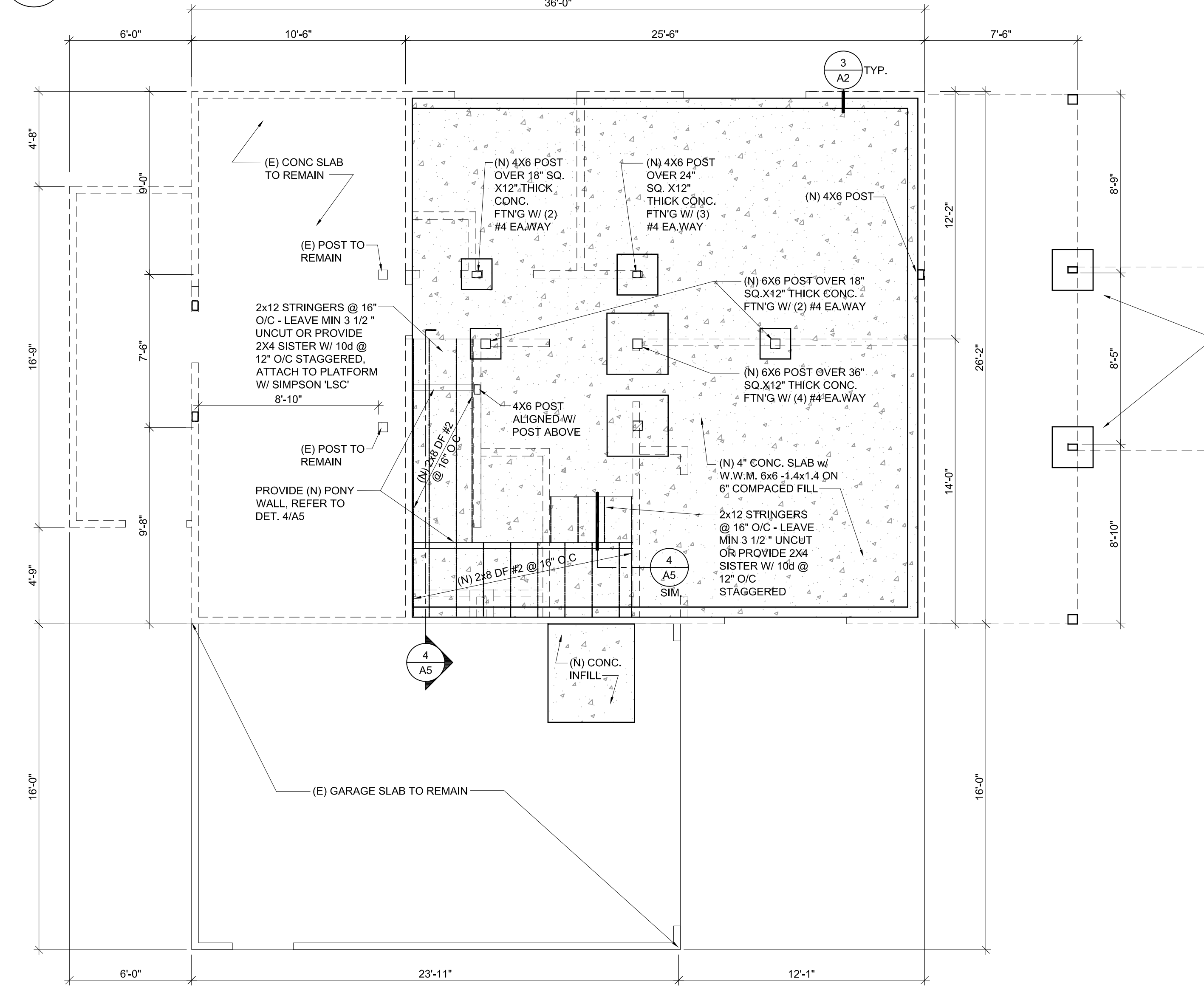
PERMIT SET - 03-15-2023



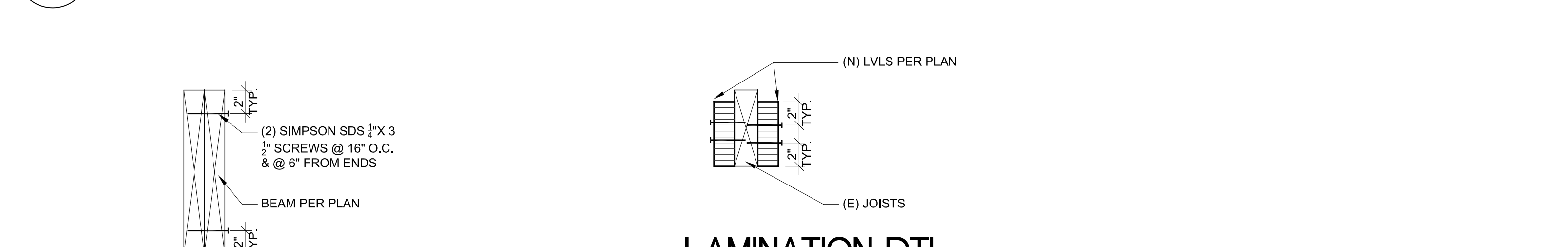
1 FIRST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"



2 SECOND FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"



3 FOUNDATION PLAN
SCALE: 1/4"=1'-0"



4 TYP. LVL LAMINATION DTL
SCALE: 1 1/2"=1'-0"

5 EXIST. JOISTS
SCALE: 1 1/2"=1'-0"

FIRE DAMAGE REPAIR
135 S 3RD ST, ST. HELENS, OR 97051

FLOOR FRAMING PLANS

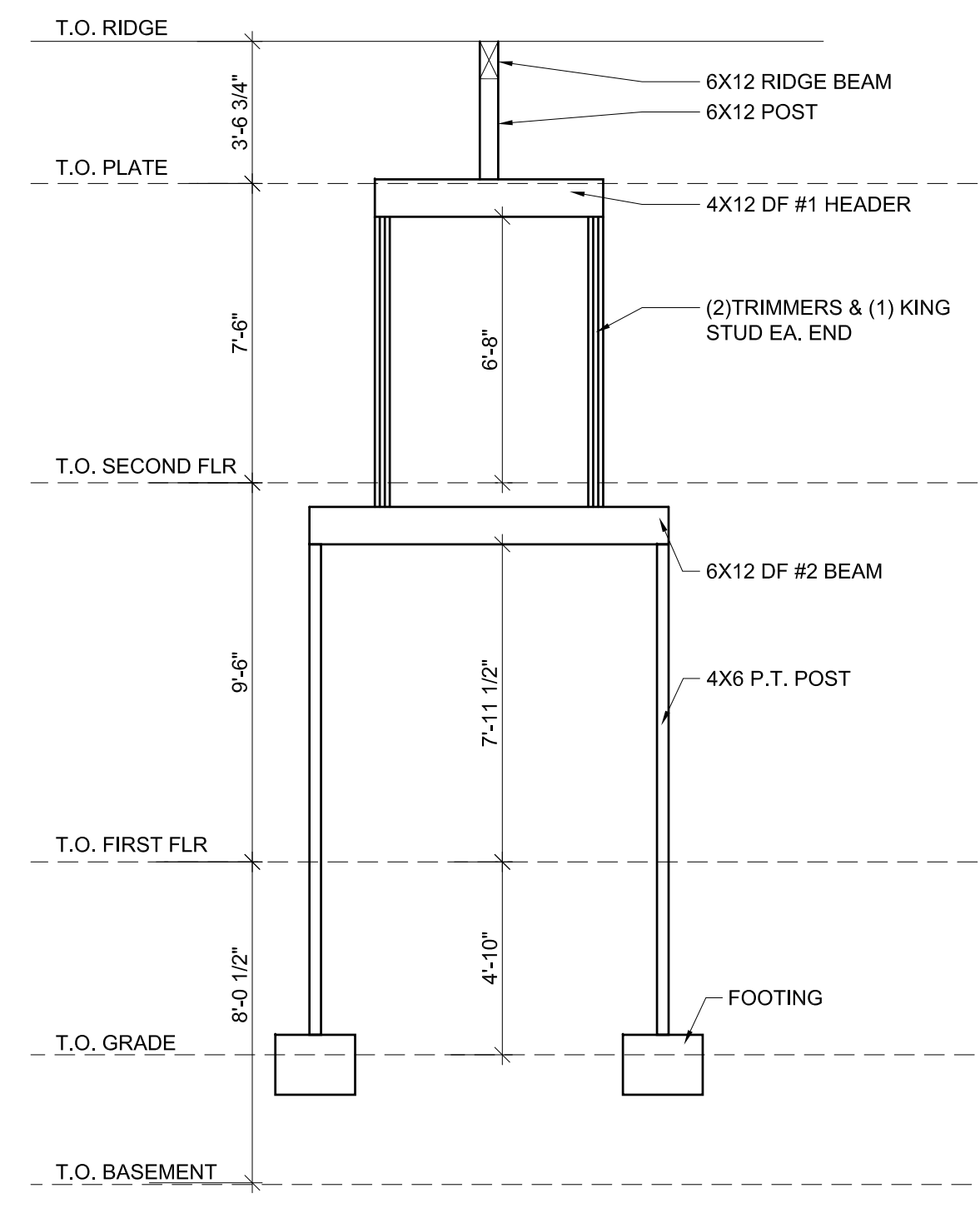
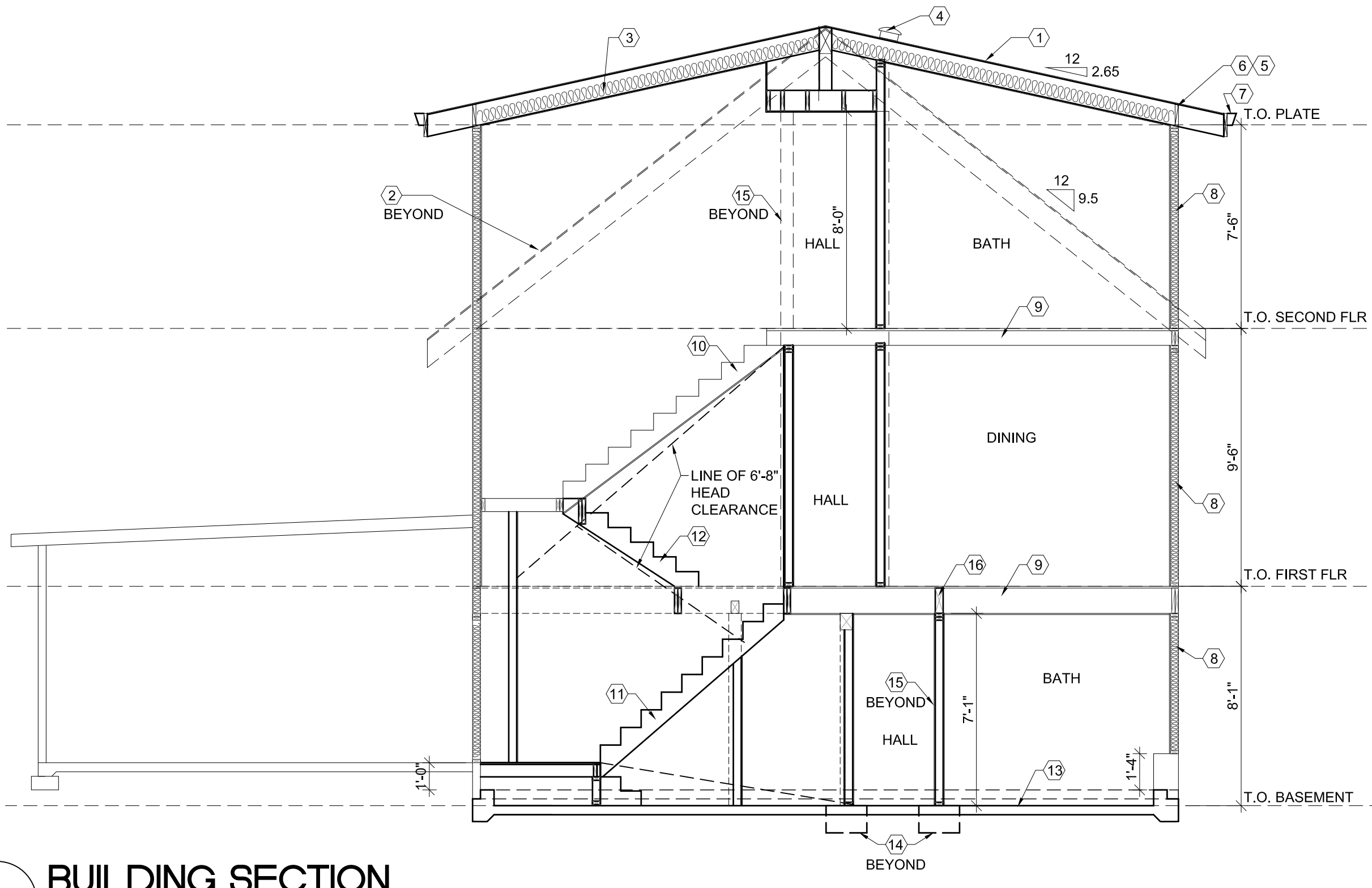
JOB #2208112

A4

PERMIT SET - 03-15-2023

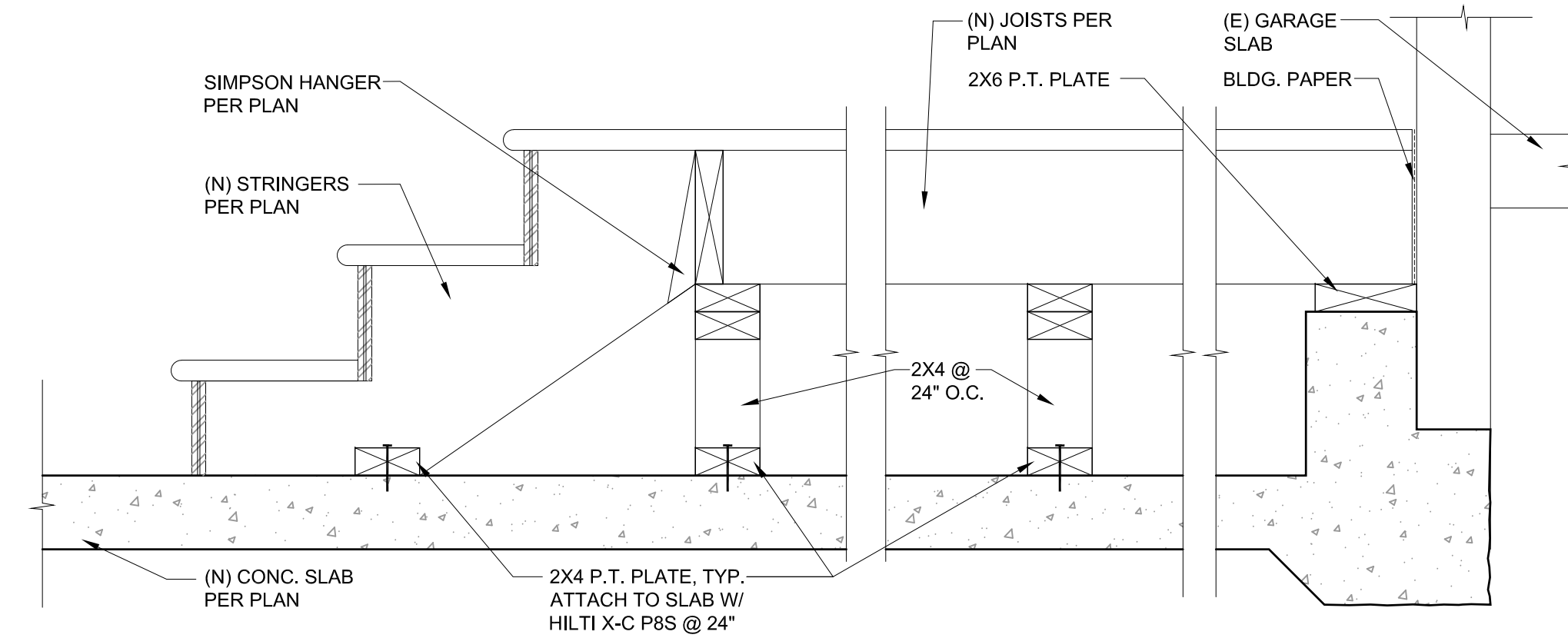
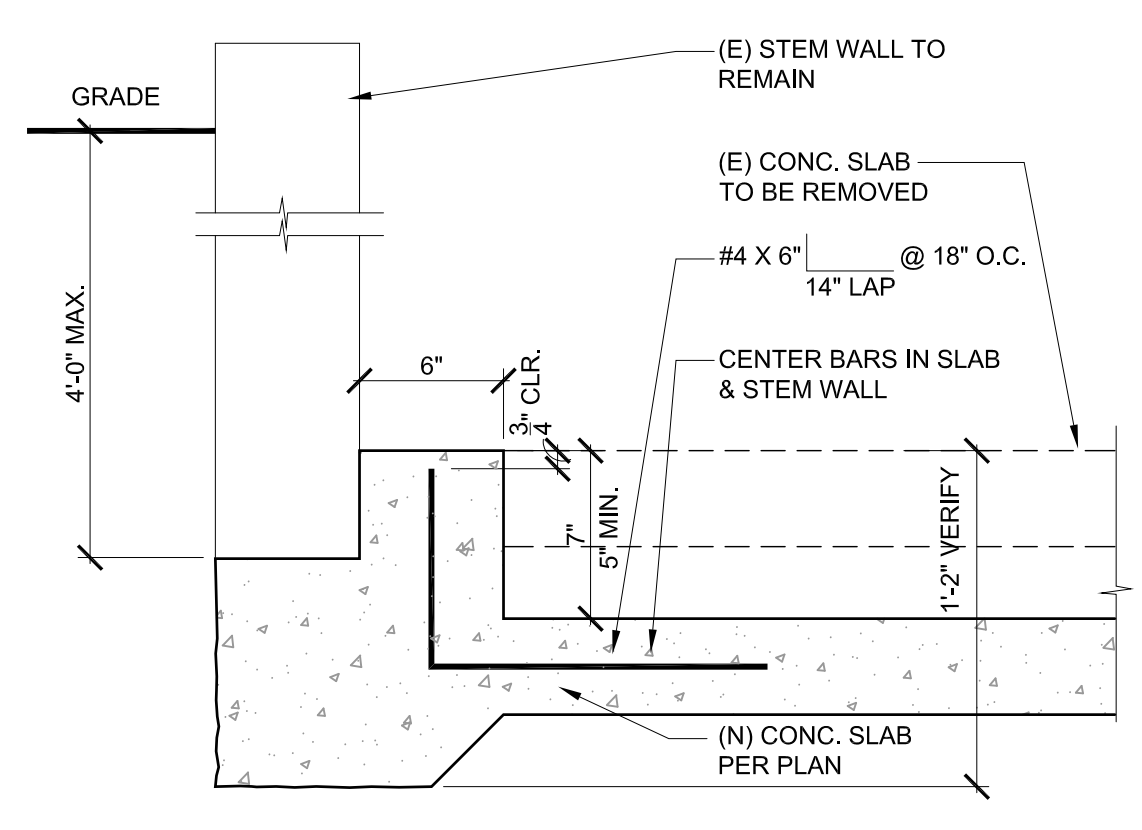
BUILDING SECTION NOTES:

1. NEW ROOF SYSTEM (TYPICAL); 'CLASS A' COMP ROOF ON 30# ASPHALT SATURATED FELT ON ROOF SHEATHING PER STRUCTURAL PLANS.
2. NEW ROOF FRAMING PER PLAN, MATCH EXISTING ROOF SLOPE
3. NEW INSULATION PER TABLE ON SHT. A0
4. INSTALL 7" DIAMETER ROOF "JACK" TYPE VENTS NEAR RIDGE PER ROOF PLAN w/ AT LEAST 50% (BUT NOT MORE THAN 80%) OF THE VENT SPACE LOCATED IN THE UPPER PORTION (AT LEAST 3' ABOVE THE EAVE VENTS).
5. PROVIDE BLOCKING @ EAVES. INSTALL 'BRANDGUARD FIREPLUG UNDEREAVE PLUG HOLE VENT' IN EACH 2" HOLE IN BLOCKING.
6. MOISTURE RESISTANT INSULATION Baffles WHERE REQUIRED.
7. 5" 'K' STYLE GUTTERS ON 2x6 FASCIA
8. EXTERIOR WALL (TYPICAL); SIDING ON TYVEK 'HOMEWRAP' ON APA-RATED SHEATHING PER STRUCTURAL ON (E) OR (N) STUDS PER PLANS w/ INSULATION PER TABLE AND 1/2" GYPSUM BOARD INTERIOR FINISH.
9. EXISTING FLOOR FRAMING / FLOOR SHEATHING TO REMAIN
10. EXISTING STAIR FRAMING TO REMAIN
11. NEW STAIR FRAMING PER SHT A2.3
12. (N) STAIR FRAMING IN FOREGROUND SHOWN DASHED
13. (N) CONC. BASEMENT FLOOR SLAB
14. NEW CONC. FOOTING PER PLANS
15. NEW POST PER 1/4"
16. NEW BEAM PER 1/4"



1 BUILDING SECTION
SCALE: 1/4"=1'-0"

2 FRAMING DIAGRAM (FRONT WALL)
SCALE: 1/4"=1'-0"



3 FOUNDATION DETAIL
SCALE: 1 1/2" = 1' - 0"

4 STAIR / RAISED FLOOR FRAMING DETAIL
SCALE: 1 1/2" = 1' - 0"

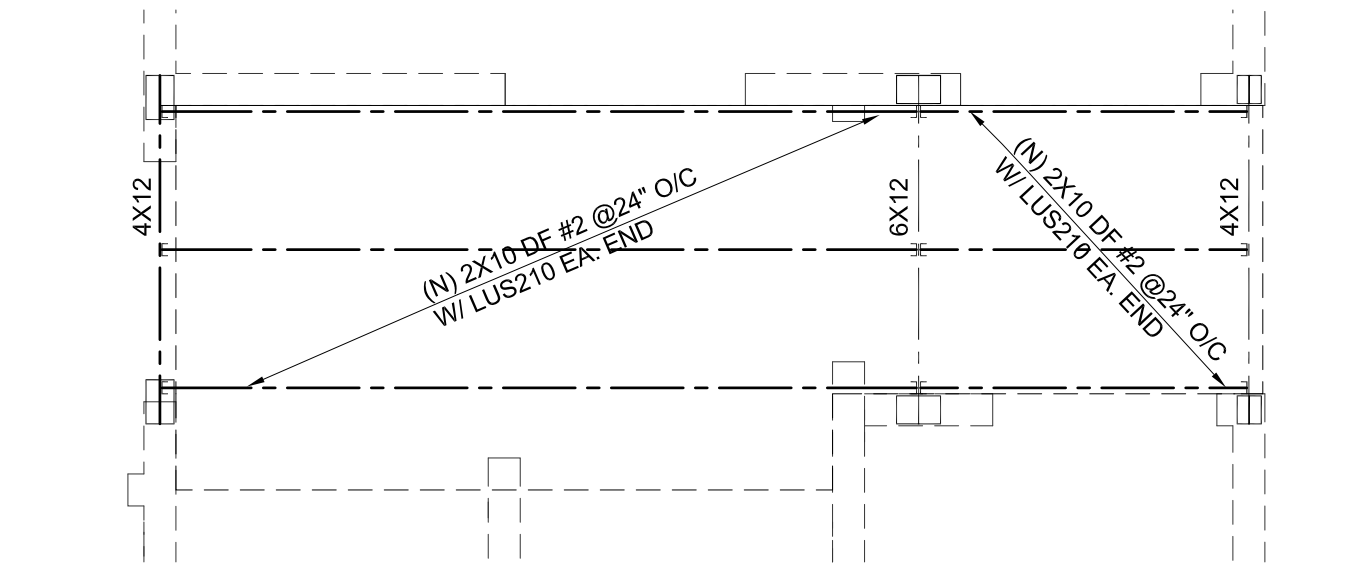
FIRE DAMAGE REPAIR
135 S 3RD ST, ST. HELENS, OR 97051

**BUILDING SECTION
DETAILS**

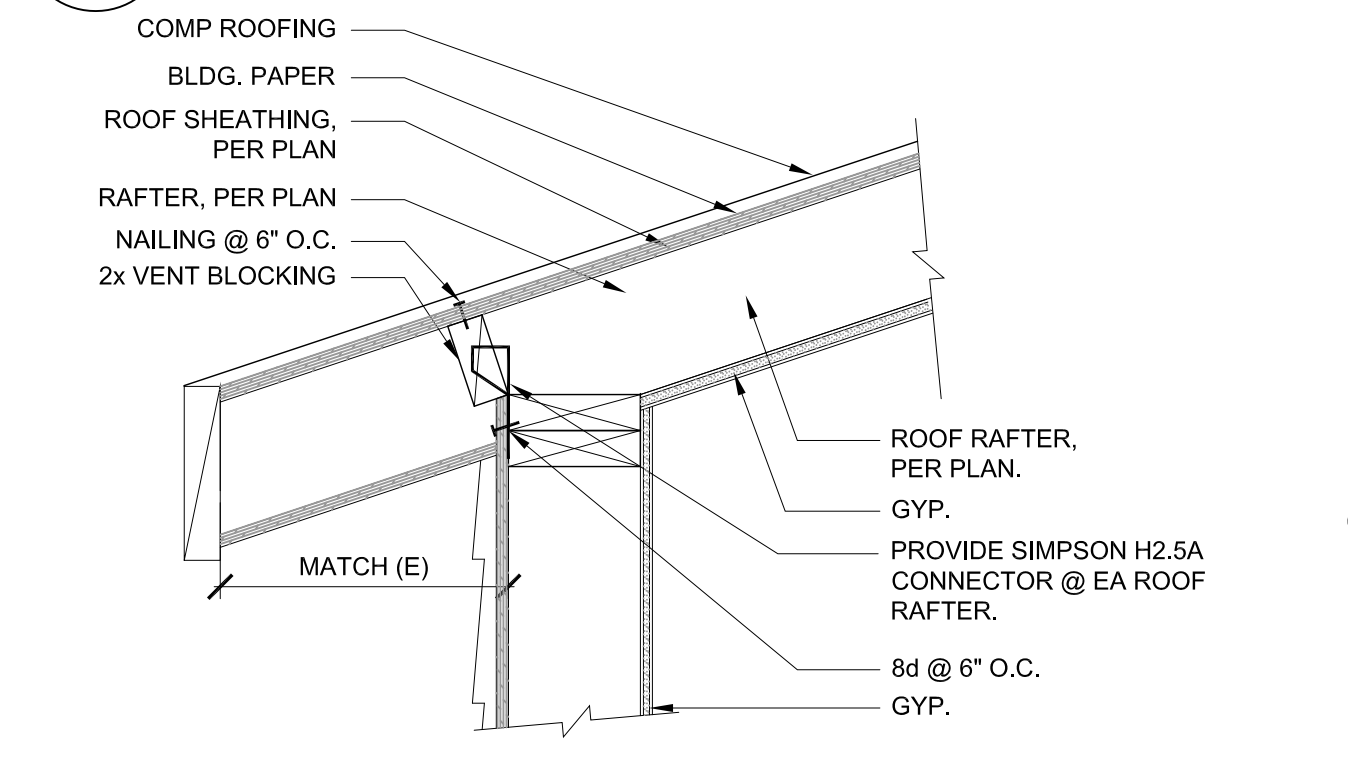
JOB #2208112

A5

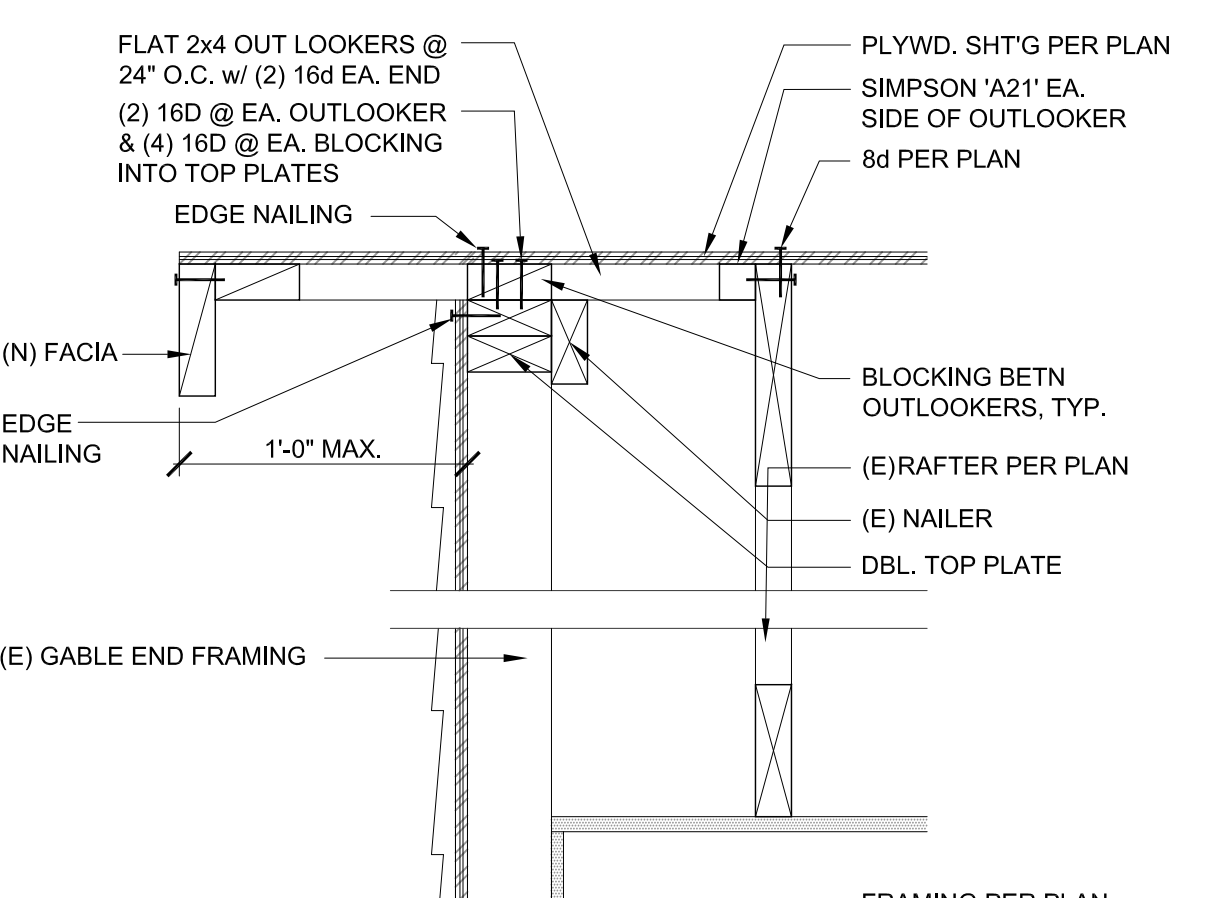
PERMIT SET - 03-15-2023



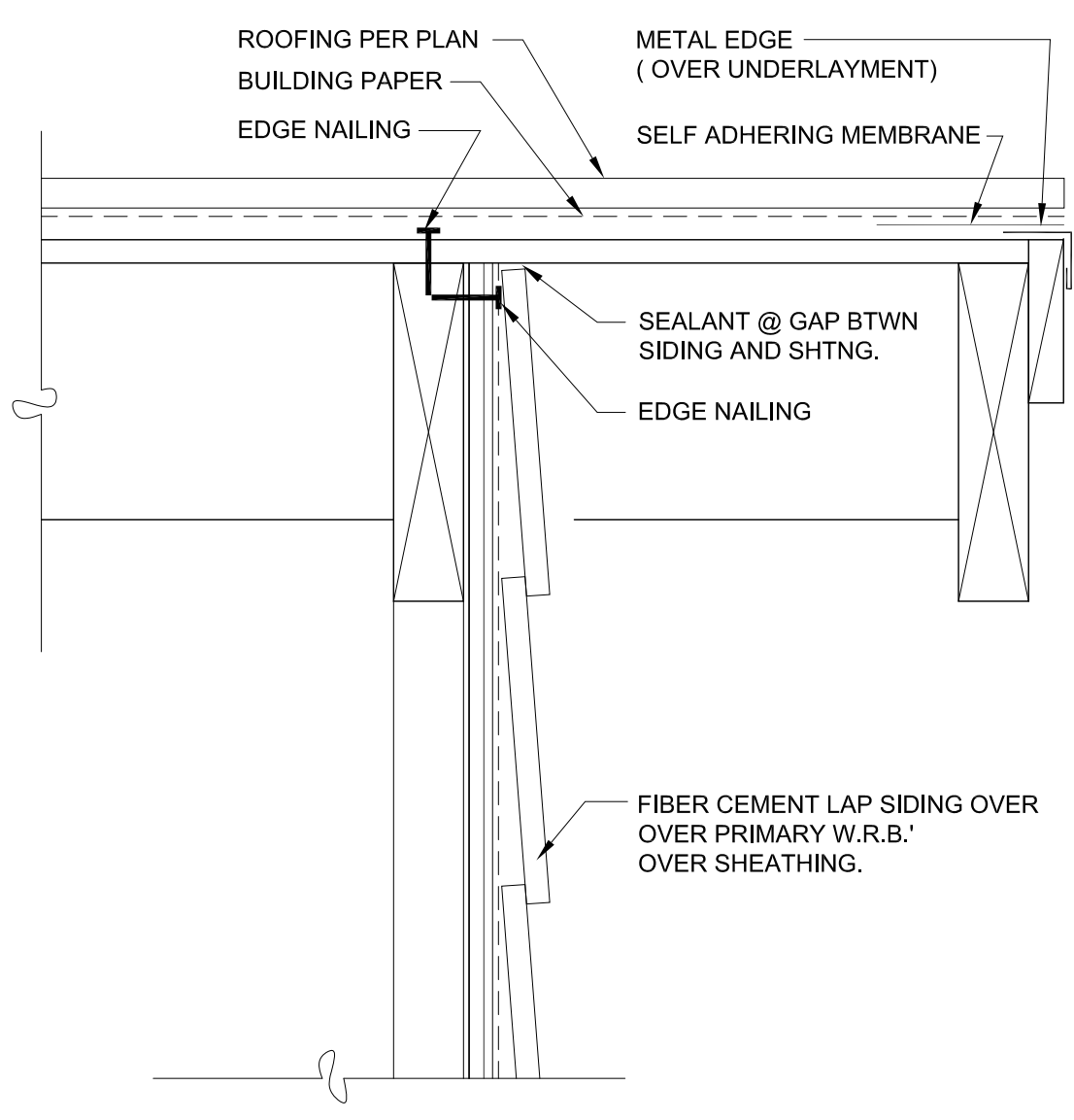
1 SOFFIT FRAMING PLAN
SCALE: 1/4"=1'-0"



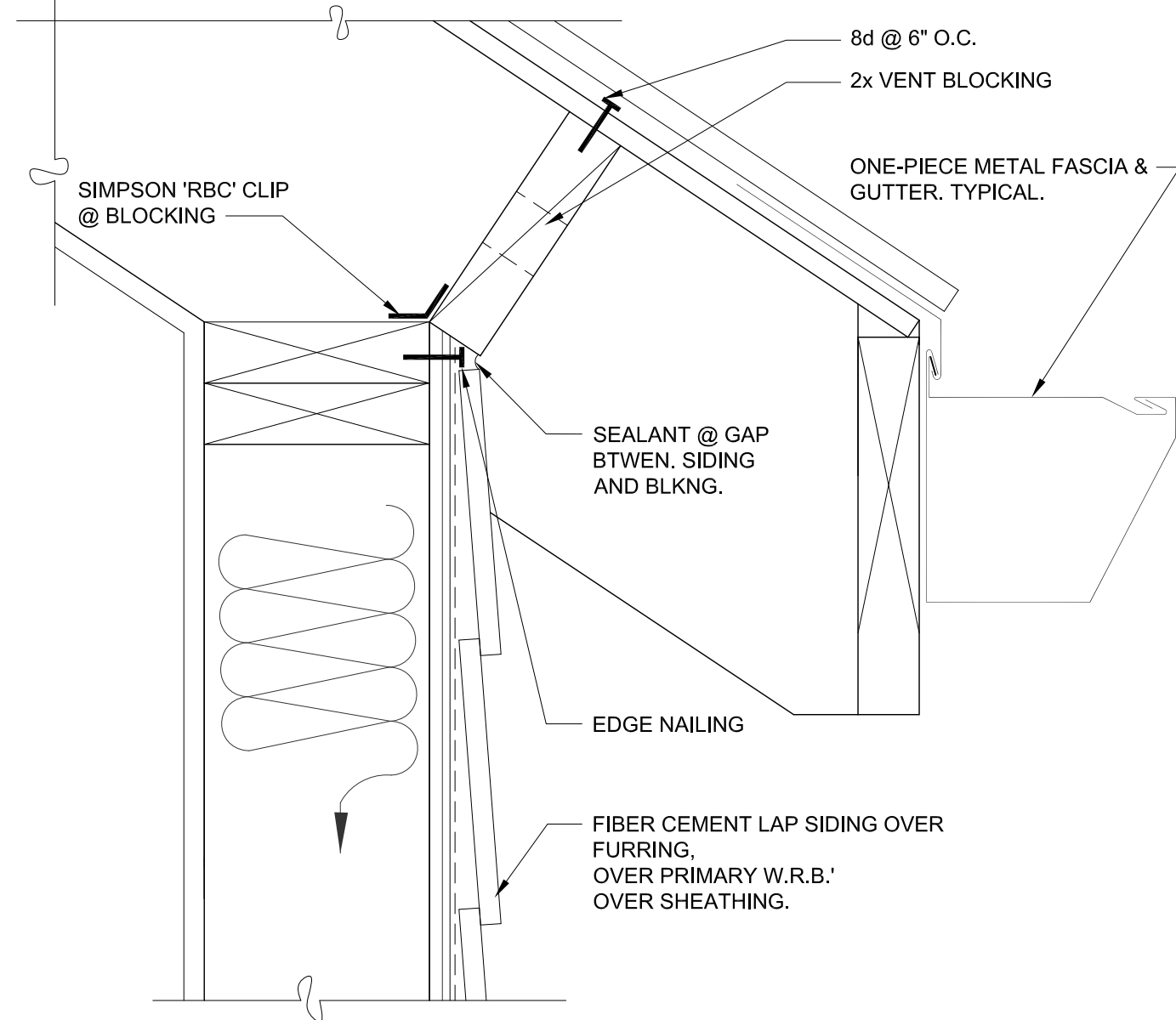
2 TYPICAL EAVE DETAIL
SCALE: 1 1/2"=1'-0"



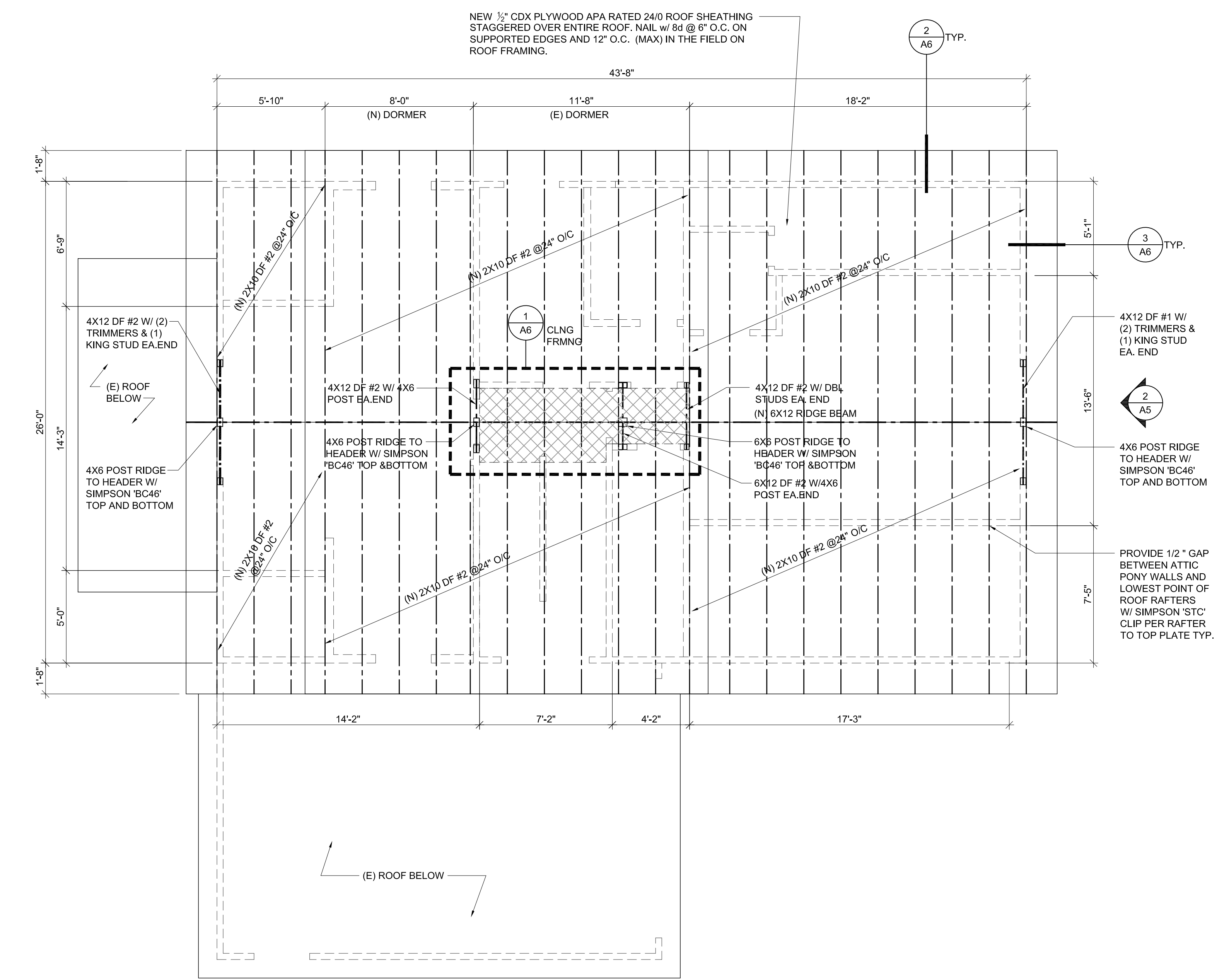
3 GABLE END OUTLOOK DETAIL
SCALE: 1 1/2"=1'-0"



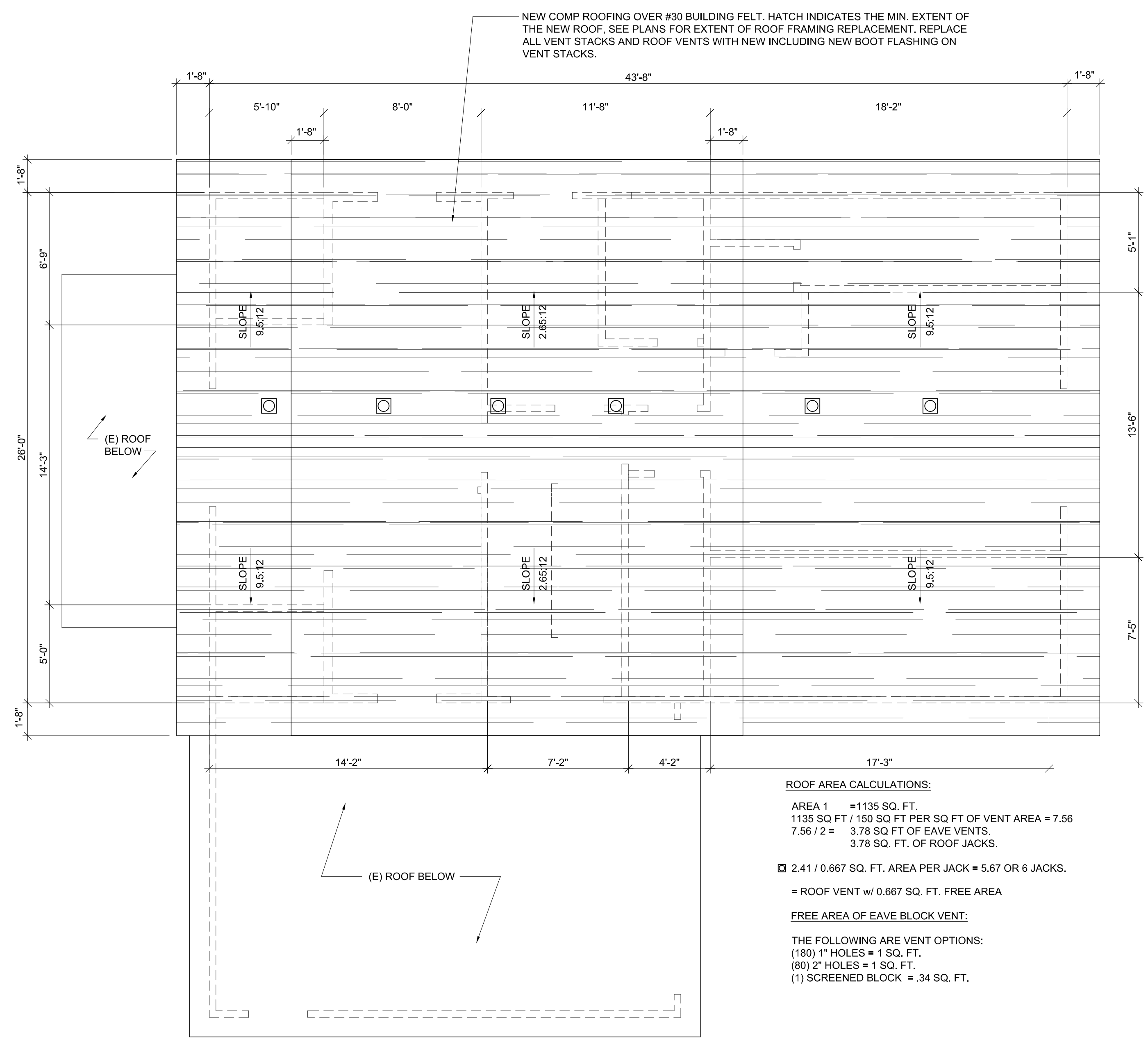
4 TYPICAL RAKE / GABLE END
SCALE: 3"=1'-0"



5 TYPICAL SIDING DETAIL @ EAVE
SCALE: 3"=1'-0"



6 ROOF FRAMING PLAN
SCALE: 1/4"=1'-0"



7 ROOF PLAN
SCALE: 1/8"=1'-0"

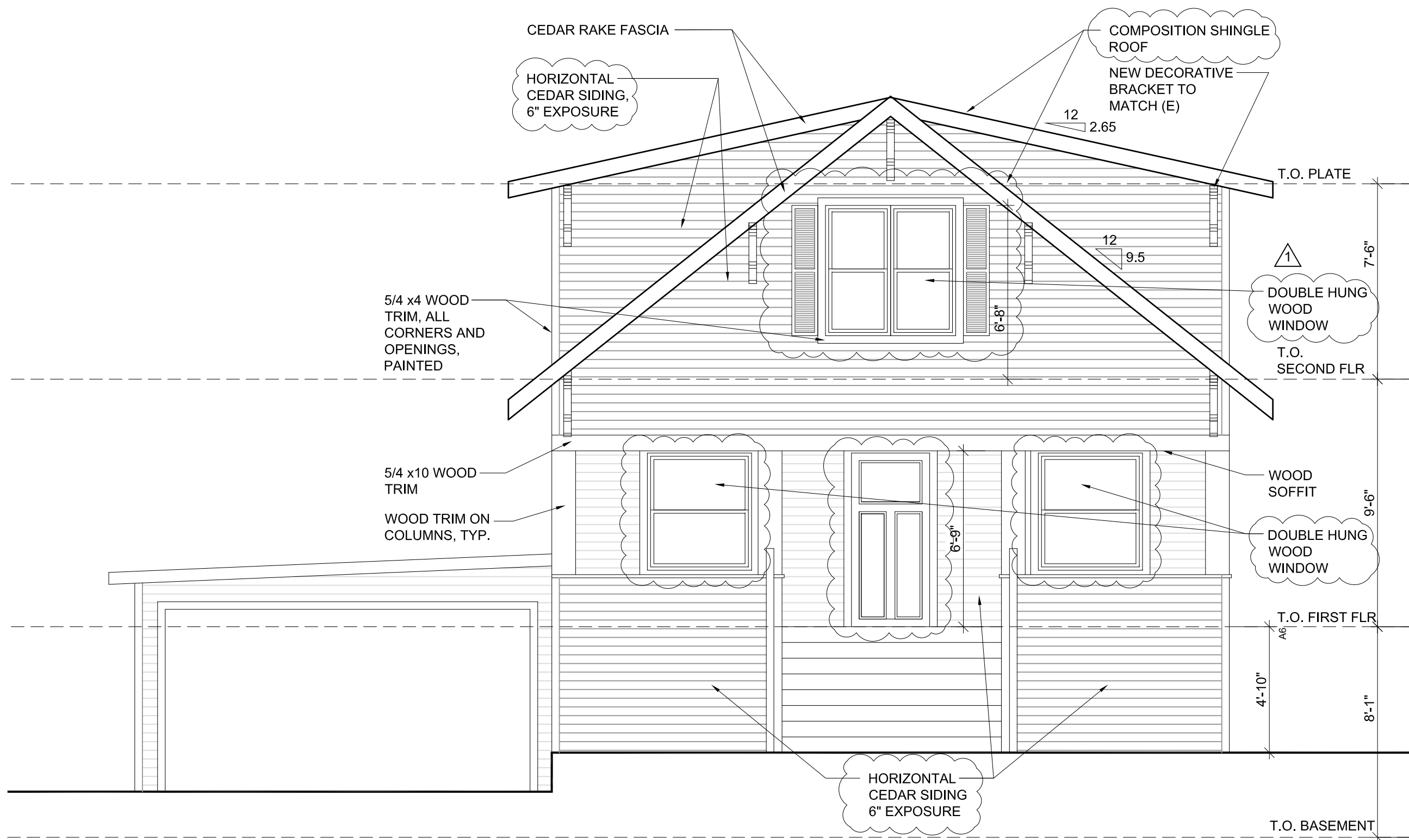
ROOF AREA CALCULATIONS:
AREA 1 = 1135 SQ. FT.
1135 SQ FT / 150 SQ FT PER SQ FT OF VENT AREA = 7.56
7.56 / 2 = 3.78 SQ FT OF EAVE VENTS,
3.78 SQ. FT. OF ROOF JACKS.
2.41 / 0.667 SQ. FT. AREA PER JACK = 5.67 OR 6 JACKS.
= ROOF VENT w/ 0.667 SQ. FT. FREE AREA
FREE AREA OF EAVE BLOCK VENT:
THE FOLLOWING ARE VENT OPTIONS:
(180) 1" HOLES = 1 SQ. FT.
(80) 2" HOLES = 1 SQ. FT.
(1) SCREENED BLOCK = .34 SQ. FT.

FIRE DAMAGE REPAIR
135 S 3RD ST, ST. HELENS, OR 97051

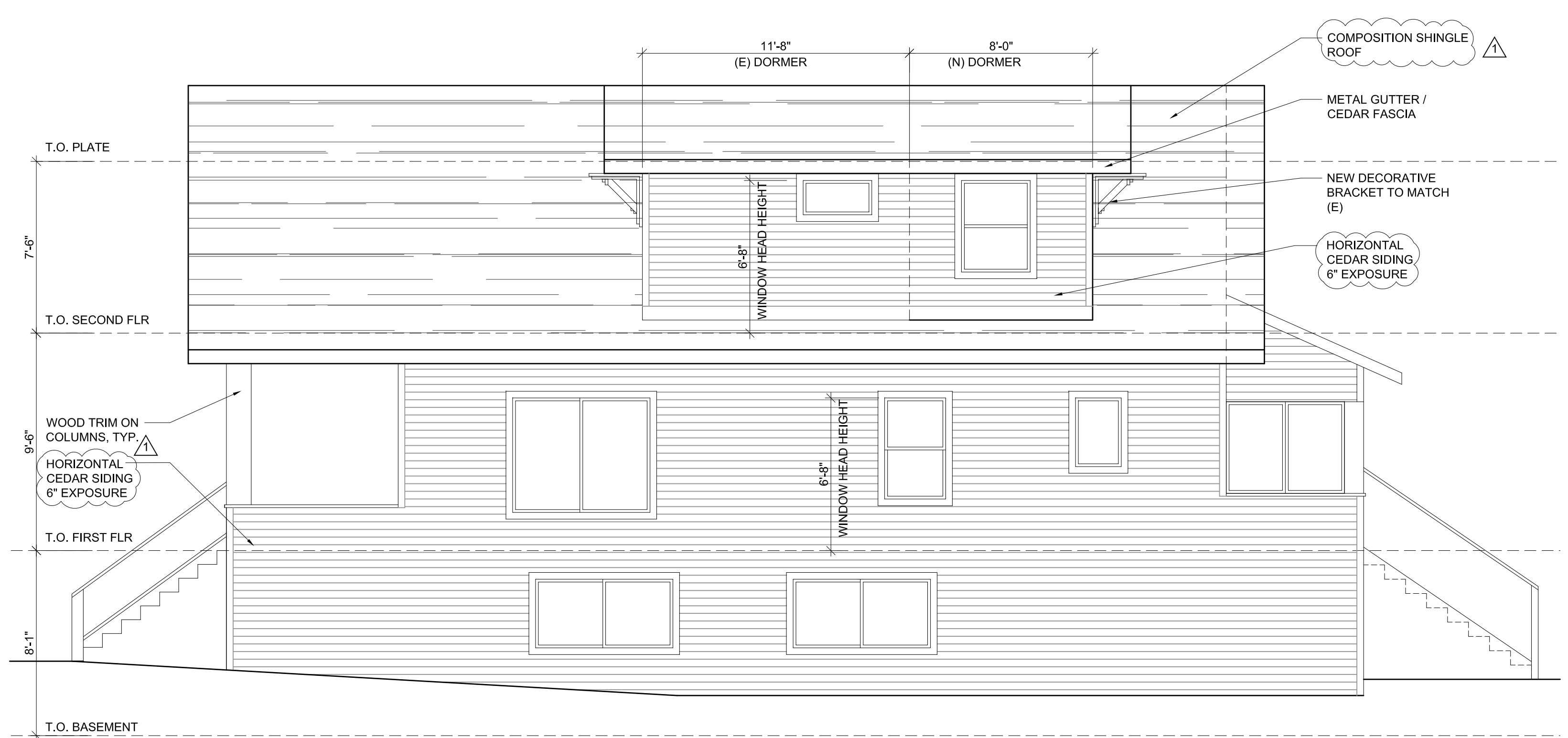
ROOF FRMNG & ROOF PLAN
ROOF DETAILS

JOB #2208112

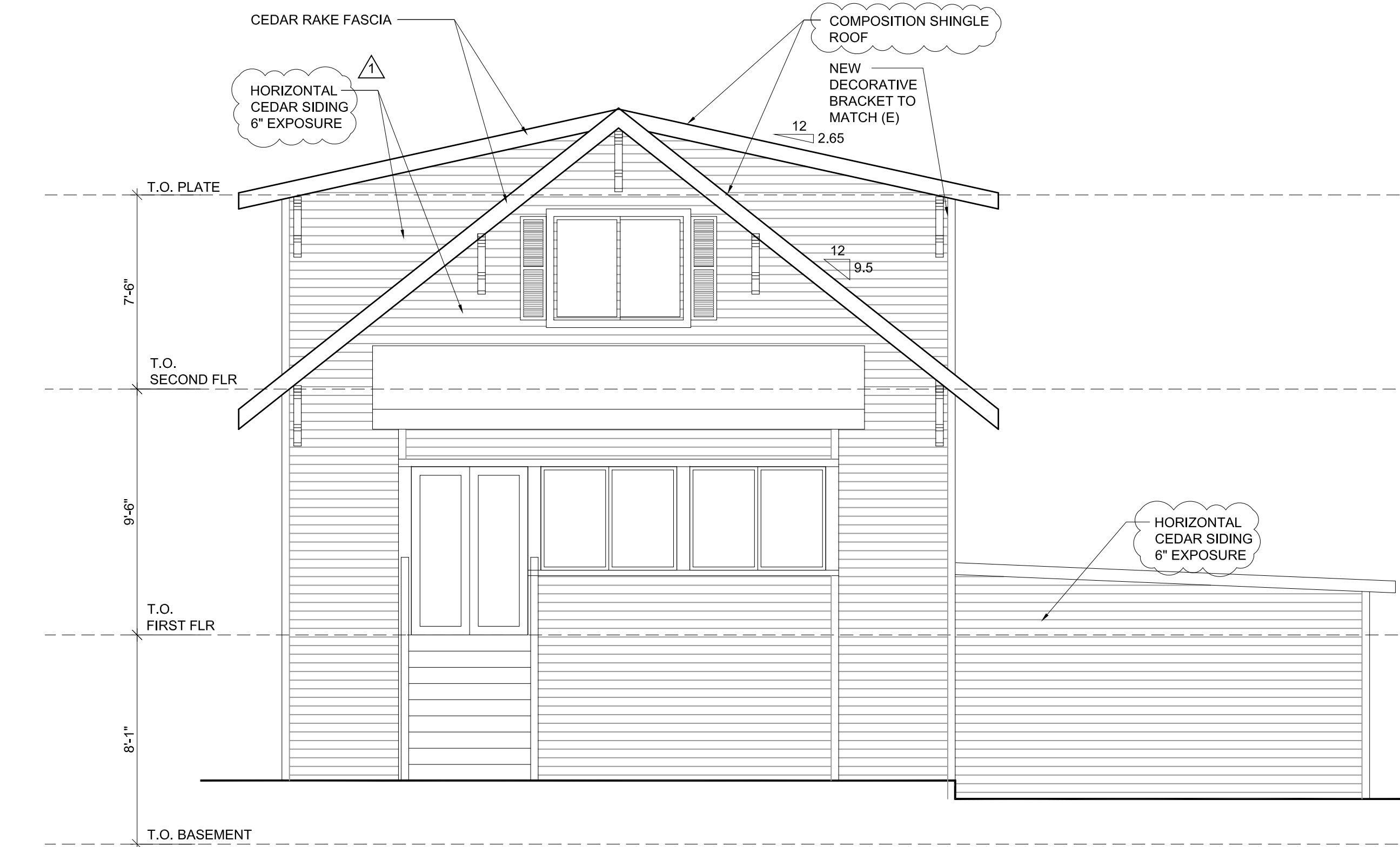
A6



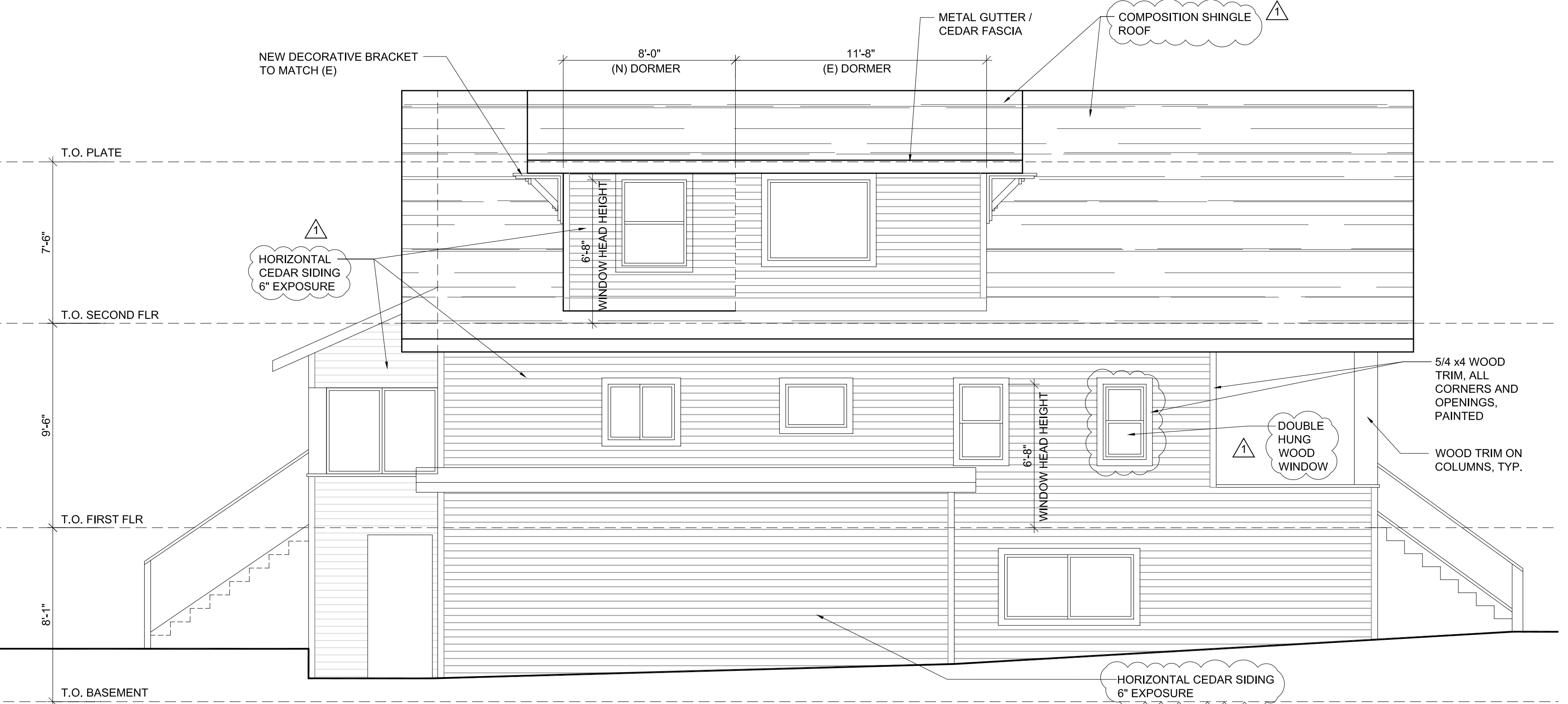
1 FRONT (EAST) ELEVATION
 SCALE: 1/4"=1'-0"



2 SIDE (NORTH) ELEVATION
 SCALE: 1/4"=1'-0"



3 REAR (WEST) ELEVATION
 SCALE: 1/4"=1'-0"



4 SIDE (SOUTH) ELEVATION
 SCALE: 1/4"=1'-0"

WINDOW GENERAL NOTES :

1. ALL WINDOWS ARE VINYL UNLESS OTHERWISE NOTED.
2. REFER TO FLOOR PLANS ON SHT
3. WINDOWS NOTED AS WOOD WINDOWS TO BE PELLA LIFESTYLE SERIES WOOD WINDOWS.

PROPERTY DAMAGE SOLUTIONS
 2850 SW CEDAR HILLS BLVD, SUITE 106
 BEAVERTON, OREGON 97005-1354
 CONTACT: CHRISTOPHER NESTLERODE
 PHONE: 503-382-8000 EM. CHRIS@PDSLLCNW.COM

PERMIT SET - 03-15-2023
 ELEVATION UPDATE 10-11-23

FIRE DAMAGE REPAIR
 135 S 3RD ST ,ST. HELENS , OR 97051

BUILDING ELEVATIONS

JOB #2208112

A7

PHOTOS OF SITE

Historical Photos

Note, despite consulting with the Columbia County Historical Society, we have been thus far unable to locate historical photos of 135 South 3rd Street while a house was on-site. (The Historical Society was able to dig up photos of a community garden that appears to have been there prior to the home being built). However, the Historical Society tells us that the house next door (125 South 3rd)—also a secondary significant historic building dating to 1914—was most likely constructed by the same builders as our house. A current photo of that home is, therefore, included here and has been provided to contractors for reference.



125 3rd Street

Pre-Fire Photos

These photos depict the project site as it was prior to the fire. Note, these pictures include the a-historic features which we seek to replace, such as the modern windows and synthetic siding



Front Façade, From 3rd Street (Pre-Fire)

© 2017



Front & Side Façades, From 3rd Street (Pre-Fire)



Site Close-Up, Facing South (Pre-Fire)

Current Photos

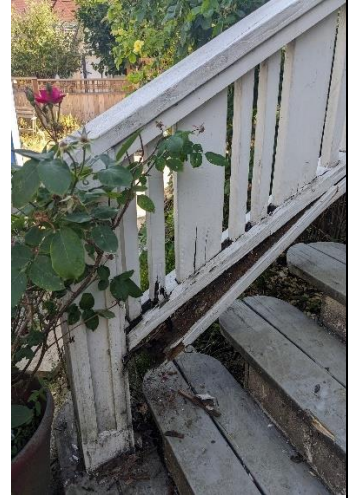
Overview of Property Exterior



Front Façade, From 3rd Street (Current)



South-Side Façade, From 3rd Street (Current)



Close-Ups of Project Area (Current)

Property with Neighbouring Property

Note, the foliage between 145, 135, and 125 South 3rd makes capturing the front façades of all at the same time difficult.



145, 135, & 125 3rd Street (Current)



145, 135, & 125 3rd Street (Current)